



HEADQUARTERS  
 10405 TECHNOLOGY TERRACE  
 LAKEWOOD RANCH, FL 34211  
 PH: 941-727-2600 FX: 941-758-5012  
 www.delta-engineers.com

**COPY DISTRIBUTION:**  
 Owner  
 Contractor  
 Architect / Engineer  
 Building Department

**FIELD OBSERVATION REPORT - Bldg. #25**

Permit No. 18-146012-00 BC  
 Owner: Vintage Grand Condo Assn., Inc.  
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Ateili  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6486 / (239) 379-1978

**LEGEND:**  
 X: Complete  
 /: In Progress

Date: 04/16/19 Time: 8:05 AM Weather: Sunny Approx. Temp.: 63° F  
 Date: 04/19/19 Time: 8:35 AM Weather: Partly Cloudy Approx. Temp.: 68° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	X	X	X	X	X	X	X		
B	X	NA	NA	X	X	X	X	X	X	X	X	X		
C	X	NA	NA	X	X	X	X	X	X	X	X	X		Contractor has finish painted stairway railings and steps ( <b>Photograph #1</b> ) Unit #2517 - Contractor has prepped and primed front entrance metal doors ( <b>Photograph #2</b> ). Contractor is repairing drywall returns and damaged areas of interior drywall at new window locations ( <b>Photograph #3</b> ). Contractor has transitioned new stucco to existing stucco with stucco stop and sealant control joint ( <b>Photograph #4</b> ).
D	X	X	X	X	X	X	X	X	X	X	X	X		
E	X	NA	NA	X	X	X	X	X	X	X	X	X		
F	X	NA	NA	X	X	X	X	X	X	X	X	X		
G	X	NA	NA	X	X	X	X	X	X	X	X	/		
H	X	X	X	X	X	X	X	X	X	X	X	X		

**ACTION REQUIRED BY CONTRACTOR:**

1. None.

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

- Unit #2515- Interior drywall exposed to wet conditions was tested for moisture. This area of drywall will require removal and replacement due to exposure and moisture content.
- Water damage was caused in units #2522 and #2512 by breaking sprinkler lines in attic space of unit # 2522. Contractor is working directly with Vintage Grand management regarding damage and corrections.
- Contractor will remove and re-install dryer vents to be level and square.

**ACTION REQUIRED BY OWNER:**

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

1. None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer: Steven J. Mainardi, PE

Date: 04.22.19



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**FIELD OBSERVATION REPORT - Bldg #28 Attic Repair**

Permit No. 18 158748 00 BR  
 Owner: Vintage Grand Condo Assn, Inc.  
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss PM  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Ateili  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6486 / (239) 379-1978

**LEGEND:**  
 X: Complete  
 /: In Progress

Date: 04/16/19 Time: 8:05 AM Weather: Sunny Approx. Temp.: 63° F  
 Date: Time: Weather: Approx. Temp.:

Unit	Demo	Truss Repairs	Fire Wall Repairs	Punch	Comments
2821	X	X	X	X	Contractor has repaired damaged truss with new scab detail (Photograph #5). Fire wall repairs made with Type X fire rated drywall (Photograph #6).
2822	X	X	X	X	Contractor has repaired damaged truss members with scab repair detail (Photograph #7). Contractor has repaired damaged truss members with scab repair detail (Photograph #8).
2823	X	X	X	X	Contractor identified termite damage at truss locations that were not previously identified from reports. Damage observed not acceding 20% of member integrity will not be repaired as part of current scope of work.
2824	X	X	X	X	Contractor has replaced full truss members where extensive termite damage was previously identified for repairs. Fire wall repairs made with Type X fire rated drywall.

**ACTION REQUIRED BY CONTRACTOR:**

1. None

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

1. None

**ACTION REQUIRED BY OWNER:**

1. None

**ACTION REQUIRED BY ENGINEER:**

1. None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer: Steven J. Mainardi, PE Date: 04.22.19



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**FIELD OBSERVATION REPORT - Bldg. #14**

Permit No. 18-131555-00 BC  
 Owner: Vintage Grand Condo Assn, Inc.  
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss PM / Mike Jones  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Ateili  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6486 / (239) 379-1978

**LEGEND:**  
 X: Complete  
 /: In Progress

Date: 04/19/19 Time: 8:35 AM Weather: Partly Cloudy Approx. Temp.: 68° F  
 Date: Time: Weather: Approx. Temp.:

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	X	X	X	X	X	X	X	X	
B	X	NA	NA	X	X	X	X	X	X	X	X	X	X	
C	X	X	X	X	X	X	X	X	X	X	X	X	X	
D	X	NA	NA	X	X	X	X	X	X	X	X	X	/	Units - 1422 and 1412- Contractor has provided WRB, stucco accessories and lathing in preparation for new stucco at repaired columns (Photograph #9).
E	X	NA	NA	X	X	X	X	X	X	X	X	X	X	
F	X	X	X	X	X	X	X	X	X	X	X	X	X	

**ACTION REQUIRED BY CONTRACTOR:**

1. Delta performed final punch walk through with Contractor and on-site manager. Punch items were marked to be addressed. Delta provided punch list and will verify completion of punch items.

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

1. Units- 1422 and 1412- balcony columns are not plum or square top to bottom, and will not be acceptable finished repairs. This item will be added to the punch list for building completion.  
 2. Punch List- Final grounds clean up and damage to be discussed with and resolved with management.

**ACTION REQUIRED BY OWNER:**

1. Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

1. Delta will verify final punch items are complete.

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.  
 Engineer: Steven J. Mainardi P.E. Date: 4.22.19



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**FIELD OBSERVATION REPORT - Bldg. #13**

Permit No. 18-158745-00 BR  
 Owner: Vintage Grand Condo Assn, Inc.  
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss PM  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Ateili  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6486 / (239) 379-1978

**LEGEND:**  
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Date: 04/19/19 Time: 8:35 AM Weather: Partly Cloudy Approx. Temp.: 68° F  
 Date: Time: Weather: Approx. Temp.:

Unit	Demo	Framing & strapping	Sheathing	Stucco	Sealant	Painting	Punch	Comments
1324	X	X	X					Contractor is proving WRB, stucco accessories and lathing in preparation for new stucco at balcony repairs (Photograph #10).

**ACTION REQUIRED BY CONTRACTOR:**

1. None.

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

1. Contractor will replace rotten door sill at balcony door.

*Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.*

Engineer: *Steven J. Mainardi P.E.* Date: *4.22.19*

**ACTION REQUIRED BY OWNER:**

1. None

**ACTION REQUIRED BY ENGINEER:**

1. None



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**FIELD OBSERVATION REPORT - Bldg. #18**

Permit No. BR  
 Owner: Vintage Grand Condo Assn, Inc.  
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss PM  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Ateili  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6486 / (239) 379-1978

**LEGEND:**  
 X: Complete  
 /: In Progress

Date: 04/19/19 Time: 8:35 AM Weather: Partly Cloudy Approx. Temp.: 68° F  
 Date: Time: Weather: Approx. Temp.:

Unit	Demo	Framing & strapping	Sheathing	Stucco	Sealant	Painting	Punch	Comments
1824A	X	/						Contractor rebuilding upper columns and built up beam (Photograph #11). Contractor has poured new column pedestals (Photograph #12).

**ACTION REQUIRED BY CONTRACTOR:**

1. None.

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

1. None

**ACTION REQUIRED BY OWNER:**

1. None

**ACTION REQUIRED BY ENGINEER:**

1. None

*Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.*

Engineer: Steven J. Mainardi P.E. Date: 4.22.19

## PHOTOGRAPHS

PHOTOGRAPH #1



### **BUILDING 25 SECTION C**

Contractor has finish painted stairway railings and steps.

PHOTOGRAPH #2



### **BUILDING 25 UNIT #2517**

Contractor has prepped and primed front entrance metal doors.

**PHOTOGRAPH #3**



**BUILDING 25  
UNIT #2517**

Contractor is repairing drywall returns and damaged areas of interior drywall at new window locations.

**PHOTOGRAPH #4**



**BUILDING 25  
SECTION C BREEZWAY**

Contractor has transitioned new stucco to existing stucco with stucco stop and sealant control joint.

**PHOTOGRAPH #5**



**BUILDING 28  
UNIT #2821 ATTIC**

Contractor has repaired damaged truss with new scab detail.

**PHOTOGRAPH #6**



**BUILDING 28  
UNIT #2821 ATTIC**

Fire wall repairs made with Type X fire rated drywall.

**PHOTOGRAPH #7**



**BUILDING 28  
UNIT #2822 ATTIC**

Contractor has repaired damaged truss members with scab repair detail.

**PHOTOGRAPH #8**



**BUILDING 28  
UNIT #2822 ATTIC**

Contractor has repaired damaged truss members with scab repair detail.

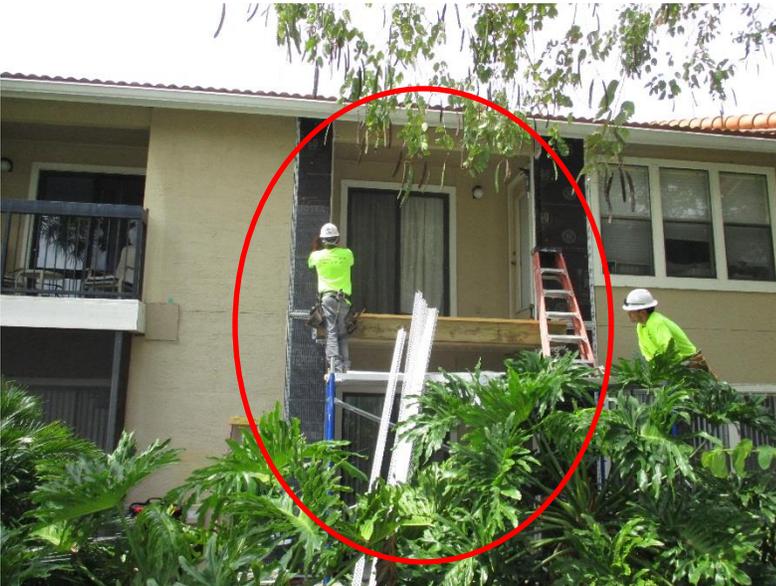
**PHOTOGRAPH #9**



**BUILDING 14  
UNIT #1422 BALCONY**

Contractor has provided WRB, stucco accessories and lathing in preparation for new stucco at repaired columns.

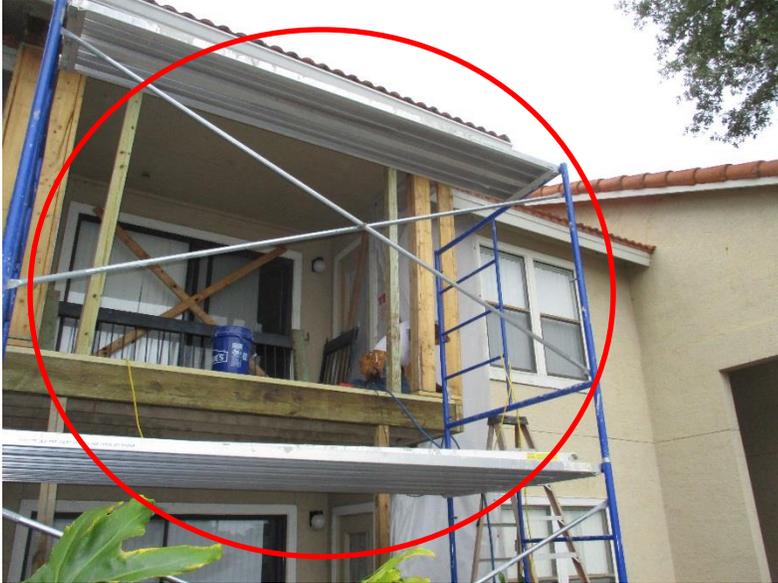
**PHOTOGRAPH #10**



**BUILDING 13  
UNIT #1324 BALCONY**

Contractor is proving WRB, stucco accessories and lathing in preparation for new stucco at balcony repairs.

**PHOTOGRAPH #11**



**BUILDING 18  
UNIT #1824 BALCONY**

Contractor rebuilding upper columns and built up beam.

**PHOTOGRAPH #12**



**BUILDING 18  
UNIT #1824 BALCONY**

Contractor has poured new column pedestals.