



HEADQUARTERS  
10405 TECHNOLOGY TERRACE  
LAKEWOOD RANCH, FL 34211  
PH: 941-727-2600 FX: 941-758-5012  
www.delta-engineers.com

**FIELD OBSERVATION REPORT - Bldg #14**

Permit No. 18-131555-00 BC  
Owner: Village Grand Condo Assn, Inc.  
Project Address: 4017 Crookers Lake Blvd., Sarasota, FL  
Contractor: RL James Inc  
Inspector (s): Mark Boss PM / Mike Jones  
Type of Assessment: Progress

Project: R1503-302D  
Contact: Glenn Atelli  
Phone/Fax: (941) 923-7380  
Contact: Craig Nicholas / Robert Branscombe  
Phone: (941)232-6486 / (239) 379-1978

Date: 02/12/19 Time: 12:25 PM Weather: Partly Cloudy Approx. Temp.: 81° F  
Date: 02/15/19 Time: 7:57 AM Weather: Sunny Approx. Temp.: 56° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & Strapping	Sheathing	Soffit	Window Flashing	Window Install	Suucco Lath Acc	Suucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	X	X	X	X	X	X	X		Contractors material remains and equipment is scattered around building and is required to be removed with final clean up as per project manual (Photograph #5). Penetration at nose bib will require sealant at suucco to metal transition (Photograph #8).
B	X	NA	NA	X	X	X	X	X	X	X	X	X		Contractor has installed screws through flashing at deck. Flashing is to be set in bead of sealant as per drawings. Contractor will make corrections and notify Delta for inspection (Photograph #1). Unfinished flashing at deck where exposed will require paint to match and protect sealant (Photograph #2). Light fixtures will require sealant at suucco to metal transition (Photograph #7).
C	X	X	X	X	X	X	X	X	X	X	X	X		Balcony rails have not been attached at top rail as required and Owners has accessed the balcony. Owners should not be allowed on balcony until properly secured (Photographs #3 and #4).
D	X	NA	NA	X	X	X	X	X	X	X	X	X		Balcony rails have not been attached at top rail as required and Owners has accessed the balcony. Owners should not be allowed on balcony until properly secured (Photographs #3 and #4).
E	X	NA	NA	X	X	X	X	X	X	X	X	X		Unit # 1411- Bedroom window that had previously failed water testing has been re-tested by certified AAMM contractor and has passed in compliance with ASTM testing per project manual (Photographs #8 and #9).
F	X	X	X	X	X	X	X	X	X	X	X	X		

**ACTION REQUIRED BY CONTRACTOR:**

- Contractor has installed screws through flashing at deck. Flashing is to be set in bead of sealant as per drawings. Contractor will make corrections and notify Delta for inspection (Photograph #1).
- Unfinished flashing at deck where exposed will require paint to match and protect sealant (Photograph #2).
- Balcony rails have not been attached at top rail as required and owners has accessed the balcony. Owners should not be allowed on balcony until properly secured (Photographs #3 and #4).
- Contractors material remains and equipment is scattered around building and is required to be removed with final clean up as per project manual (Photograph #5).
- Penetration at nose bib will require sealant at suucco to metal transition (Photograph #6).
- Light fixtures will require sealant at suucco to metal transition (Photograph #7).

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

- SIKALASTIC ROOF PRO applied at base of sheathing transition to foundation as per ESI #1 has not been installed or corrected according to manufactures requirements.
- Suucco weep screed accessory at foundation (Section C) is not properly sealed to the sheathing as change order # 6 requires. This location will require re-sealing.
- Suucco weep screed accessory at foundation (Section E) is not properly sealed to the sheathing as change order # 6 requires. This location will require re-sealing.

**ACTION REQUIRED BY OWNER:**

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of suucco and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

- None

**COPY DISTRIBUTION:**  
 Owner  
 Contractor  
 Architect / Engineer  
 Building Department

**LEGEND:**  
 X: Complete  
 /: In Progress

Based on the site observations conducted, this firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:  Date: 2/15/19



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**COPY DISTRIBUTION:**  
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 Architect / Engineer  
 Building Department

**FIELD OBSERVATION REPORT - Bldg #25**

Permit No. 18-146012-00 BC  
 Owner: Virrage Grand Condo Assn. Inc.  
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Aheil  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6486 / (239) 379-1978

Date: 02/12/19 Time: 12:25 PM  
 Date: 02/14/19 Time: 8:05 AM  
 Date: 02/15/19 Time: 7:57 AM

Weather: Partly Cloudy  
 Weather: Sunny  
 Weather: Sunny

Approx. Temp.: 81° F  
 Approx. Temp.: 53° F  
 Approx. Temp.: 56° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & Striping	Sheathing	Soffit	Window flashing	Window Install	Succo Lath Acc	Succo	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	/	X	X	X	/				Succo contractor has begun scratch coat succo application. (Photograph #16).
B	X	NA	NA	X	X	/	X	X	X					New soffit wood has been attached at some locations with screws. These fasteners must be counter sunk and patched over prior to primer and finish coat painting. (Photograph #14).
C	X	NA	NA	X	X	/	X	X	X					Contractors have piled materials on lawn outside fenced construction area. Construction materials on site must be contained within fenced areas (Photograph #12). Unit #2527-Drywall has been installed prior to finish bead of sealant being installed at window perimeter. Contractor will remove drywall and complete window installation as per drawing and specifications. (Photograph #17).
D	X	X	X	X	X	X	X	X						Unit #2527-Bedroom double window has been tested by certified AAMA contractor and has passed in compliance with ASTM testing per project manual (Photographs #10 and #11).
E	X	NA	NA	X	/									Bora Care termite treatment has been applied as per scope and specifications (Photograph #13).
F	/	NA	NA	NA	NA									Previous deficient balcony built up beam repairs have rotted and will be replaced as per scope and specifications (Photograph #15).
G		NA	NA	NA										
H	X	X	X	X	X	X	X	X	/					

**ACTION REQUIRED BY CONTRACTOR:**

- Contractors have piled materials on lawn outside fenced construction area. Construction materials on site must be contained within fenced areas. (Photograph #12).
  - New soffit wood has been attached at some locations with screws. These fasteners must be counter sunk and patched over prior to primer and finish coat painting. (Photograph #14).
  - Unit #2527-Drywall has been installed prior to finish bead of sealant being installed at window perimeter. Contractor will remove drywall and complete window installation as per drawing and specifications. (Photograph #17).
- PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**
- Open walls where wind conditions have blown off protection have been exposed to wet conditions. Conditions will require evaluation and repair as required prior to sheathing installation.
  - Unit # 2515- Interior drywall exposed to wet conditions was tested for moisture. This area of drywall will require removal and replacement due to exposure and moisture content.
  - Unit # 2511- Interior of front bedroom areas, carpet and walls are wet. Contractor and management have been notified by Delta. Effected areas will require further investigative confirmation and restoration repairs as deemed necessary and applicable.
  - Water damage was caused in units #2522 and #2512 by breaking sprinkler lines in attic space of unit # 2522. Contractor is working directly with Virrage Grand management regarding damage and corrections.

**ACTION REQUIRED BY OWNER:**

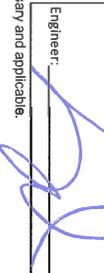
- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of succo and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

- None

**LEGEND:**  
 X: Complete  
 /: In Progress

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of this site visit solely.

Engineer:   
 Date: 2-18-19

## PHOTOGRAPHS

PHOTOGRAPH #1



**BUILDING 14  
UNIT # 1423**

Contractor has installed screws through flashing at deck. Flashing is to be set in bead of sealant as per drawings. Contractor will make corrections and notify Delta for inspection.

PHOTOGRAPH #2



**BUILDING 14  
UNIT # 1423**

Unfinished flashing at deck where exposed will require paint to match and protect sealant.

**PHOTOGRAPH #3**



**BUILDING 14  
UNIT # 1424**

Balcony rails have not been attached at top rail as required and owners has accessed the balcony. Owners should not be allowed on balcony until properly secured.

**PHOTOGRAPH #4**



**BUILDING 14  
UNIT # 1424**

Balcony rails have not been attached at top rail as required and occupants have accessed the balcony. Contractor will secure doors to prevent occupants on balcony until properly secured.

**PHOTOGRAPH #5**



**BUILDING 14  
SITE CONDITION**

Contractors material remains and equipment is scattered around building and is required to be removed with final clean up as per project manual.

**PHOTOGRAPH #6**



**BUILDING 14  
SECTION A**

Penetration at hose bib will require sealant at stucco to metal transition.

**PHOTOGRAPH #7**



**BUILDING 14  
SECTION B**

Light fixtures will require sealant at stucco to metal transition.

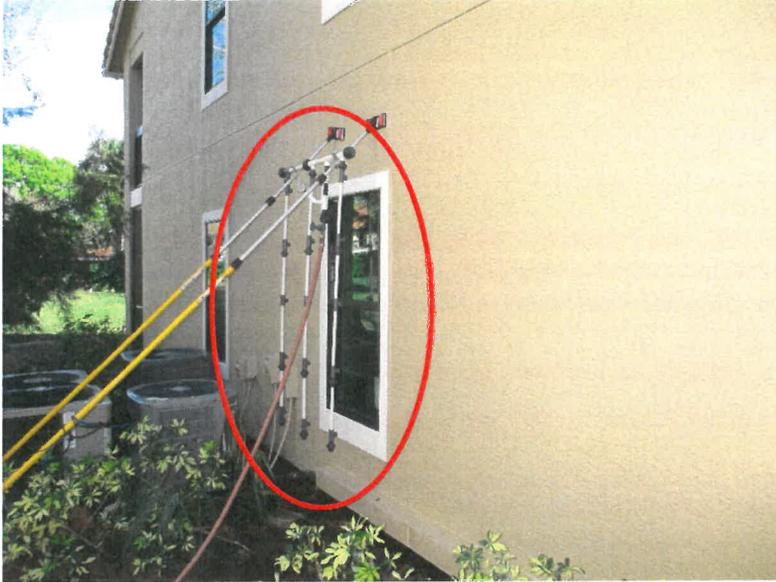
**PHOTOGRAPH #8**



**BUILDING 14  
UNIT #1411**

Bedroom window that had previously failed water testing has been re-tested by certified AAMA contractor and has passed in compliance with ASTM testing per project manual.

**PHOTOGRAPH #9**



**BUILDING 14  
UNIT #1411**

Bedroom single window that had previously failed water testing has been re-tested by certified AAMA contractor and has passed in compliance with ASTM testing per project manual.

**PHOTOGRAPH #10**



**BUILDING 25  
UNIT #2527**

Bedroom double window has been tested by certified AAMA contractor and has passed in compliance with ASTM testing per project manual.

**PHOTOGRAPH #11**



**BUILDING 25  
UNIT #2527**

Bedroom double window has been tested by certified AAMA contractor and has passed in compliance with ASTM testing per project manual.

**PHOTOGRAPH #12**



**BUILDING 25  
ELEVATION C**

Contractors have piled materials on lawn outside fenced construction area. Construction materials on site must be contained within fenced areas.

**PHOTOGRAPH #13**



**BUILDING 25  
ELEVATION E**

Bora Care termite treatment has been applied as per scope and specifications.

**PHOTOGRAPH #14**



**BUILDING 25  
ELEVATION B**

New soffit wood has been attached at some locations with screws. These fasteners must be counter sunk and patched over prior to primer and finish coat painting.

**PHOTOGRAPH #15**



**BUILDING 25  
ELEVATION F**

Previous deficient balcony built up beam repairs have rotted and will be replaced as per scope and specifications.

**PHOTOGRAPH #16**



**BUILDING 25  
ELEVATION A**

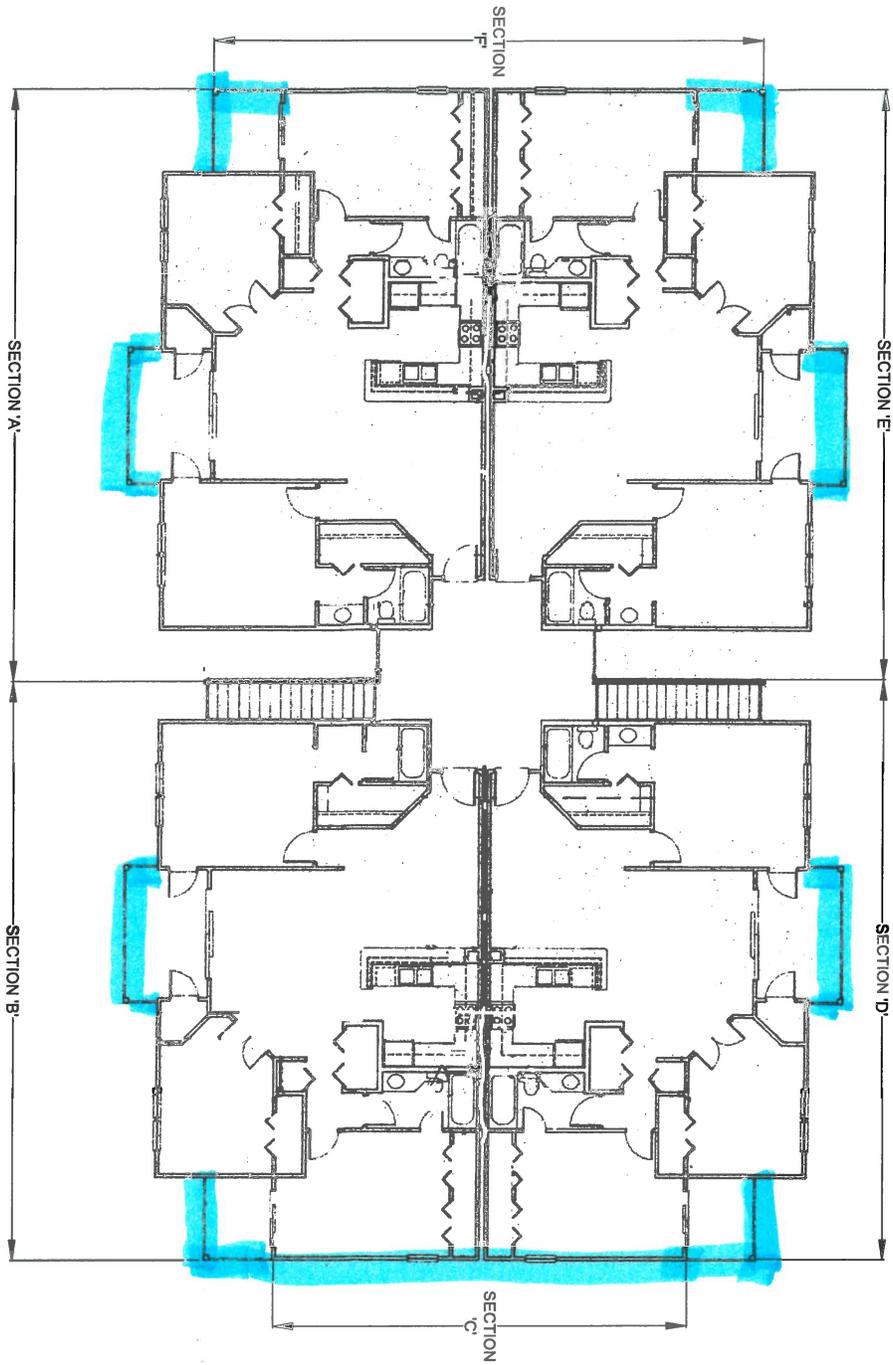
Stucco contractor has begun scratch coat stucco application.

**PHOTOGRAPH #17**



**BUILDING 25  
UNIT #2527**

Drywall has been installed prior to finish bead of sealant being installed at window perimeter. Contractor will remove drywall and complete window installation as per drawing and specifications.



1 BUILDING #14 FLOOR PLAN - TYPE 5  
 S-1.0A SCALE: N.T.S.

 DENOTES AREA OF WORK

**DELTA**  
 ENGINEERING  
 1640 TECHNOLOGY TERRACE  
 SARASOTA, FL 34237-2009 FAX 941.552.9192  
 CERTIFICATE OF  
 ADOPTION  
 #9753

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**DRAWING TITLE:**  
 BUILDING #14 FLOOR PLAN - TYPE 1

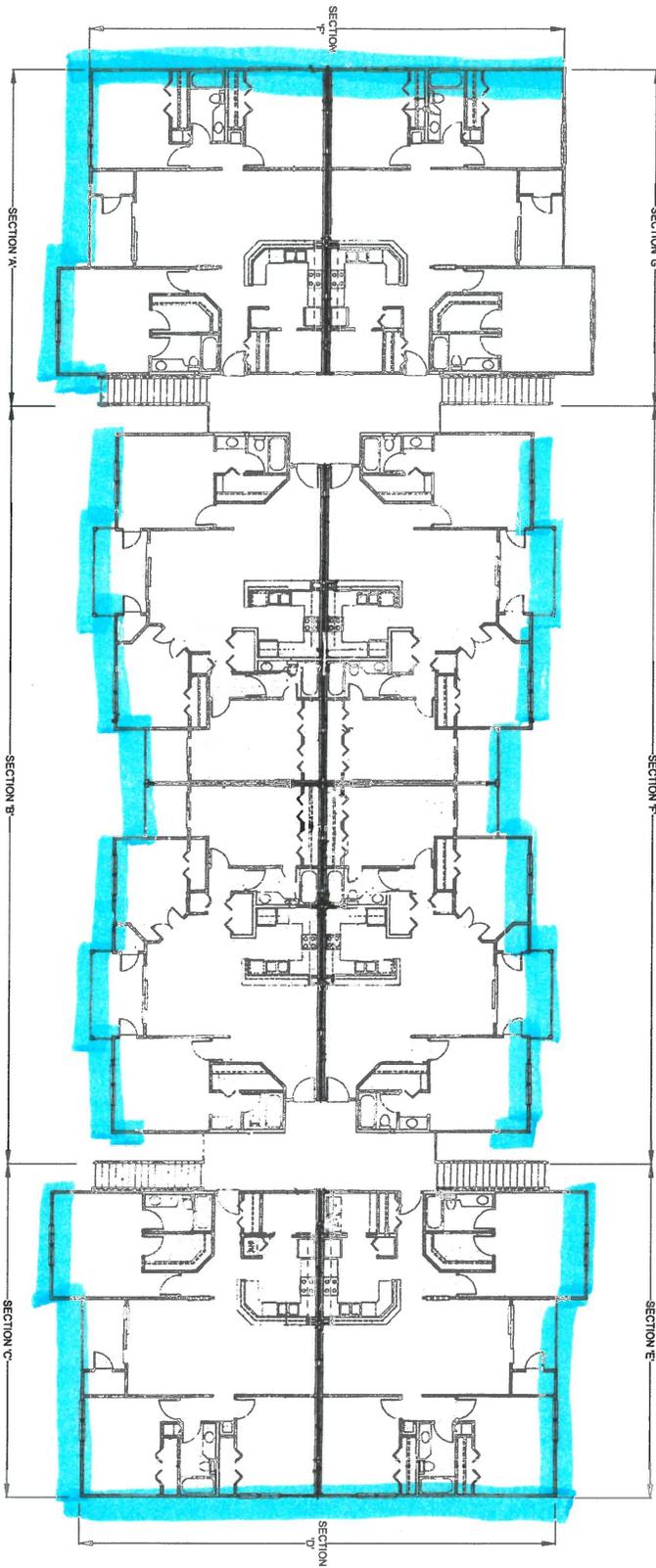
**PROJECT NAME:**  
 WOOD FRAME REPAIRS & RELATED WORK (PHASE II)  
 VINTAGE GRANDE CONDOMINIUM ASSOCIATION, INC.  
 4012 CROCKERS LAKE BLVD., SARASOTA, FL 34238

**SEAL:**  
 STEVEN J. MAINARDI, P.E.  
 #56563

DELTA JOB # R1503-302D  
 DRAWN BY: M.P.J.  
 CHECKED BY: C.M.D.  
 APPROVED BY: S.J.M.  
 DATE: 05/07/18

**ISSUE DATES & REVISIONS**  
 PERMIT SET 05-07-18

SHEET **S-1.0A**



1 BUILDING #25 FLOOR PLAN - TYPE 1  
 S-1.0 SCALE: N.T.S.

AREA OF WORK



1000 TECHNOLOGY TERRACE  
 LAKESIDE PARK, R. 1421  
 PALM BEACH, FL 33410  
 561.833.8877

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**DRAWING TITLE:**  
 BUILDING #25 FLOOR PLAN - TYPE 1

**PROJECT NAME:**  
 WOOD FRAME REPAIRS & RELATED WORK (PHASE II)  
 VINTAGE GRANDE CONDOMINIUM ASSOCIATION, INC.  
 4012 CROCKERS LAKE BLVD., SARASOTA, FL 34238

**SEAL:**  
 STEVEN J. MAINARDI, P.E.  
 #55563

DELTA JOB # R1503-302D  
 DRAWN BY: M.P.J.  
 CHECKED BY: C.M.D.  
 APPROVED BY: S.J.M.  
 DATE: 05/07/18

ISSUE DATES & REVISIONS  
 PERMIT SET 05-07-18

SHEET S-1.0