



HEADQUARTERS  
10405 TECHNOLOGY TERRACE  
LAKEWOOD RANCH, FL 34211  
PH: 941-727-2600 FX: 941-758-5012  
www.delta-engineers.com

**COPY DISTRIBUTION:**  
X Owner  
X Contractor  
□ Architect / Engineer  
□ Building Department

**LEGEND:**  
X: Complete  
/: In Progress

**FIELD OBSERVATION REPORT - Bldg. #25**

Permit No. 18-146012-00 BC  
Owner: Vintage Grand Condo Assn, Inc.  
Project Address: 4017 Crockers Lake Blvd., Sarasota, FL  
Contractor: RL James Inc  
Inspector (s): Mark Boss  
Type of Assessment: Progress

Project: R1503-302D  
Contact: Glenn Atell  
(941) 923-7380  
Contact: Craig Nicholas / Robert Branscombe  
Phone: (941)232-6486 / (239) 379-1978

Date: 03/19/19 Time: 8:08 AM  
Date: 03/21/19 Time: 8:10 AM

Weather: Rain  
Weather: Partly Cloudy

Approx. Temp.: 54° F  
Approx. Temp.: 58° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	X	X	X	X	X	X	/		
B	X	NA	NA	X	X	X	X	X	X	X	X	/		Kick out flashing at roof has not been completed with lath and stucco details (Photograph #1). Contractor has not provided Simpson Strong #SDW2458 screws 12" O.C. as per drawings at balcony repairs. Construction equipment and materials outside fenced construction area. Unit #2525-Contractor has replaced top 2"X 4" with continuous PT board at built up beam as per drawings(Photograph #3).
C	X	NA	NA	X	X	X	X	X	X	X	X	/		
D	X	X	X	X	X	X	X	X	X	X	/	/		
E	X	NA	NA	X	X	/	X	X	X	X	X	/		Contractor has begun surface preparation at steel handrails by removing loose paint and rusty surface (Photograph #4).
F	X	NA	NA	X	X	/	X	X	X	/				A/C boxes have been left attached to the sheathing and stucco accessories have been installed improperly. Stucco sub - contractor is in process of applying brown coats and texture coats of stucco (Photographs #5).
G	X	NA	NA	X	X	/	X	X	/					
H	X	X	X	X	X	X	X	X	X	X	X	/		Soil at grade has not been removed to provide 6 inches from top of grade to bottom of stucco and slope grade 2% to provide positive drainage. Unit #2512 - Contractor has not provided interior sealant at new window perimeter (Photograph #2).

**ACTION REQUIRED BY CONTRACTOR:**

- Contractor will complete kick out flashing detail as per drawings with lath and stucco applied (Photograph #1).
- Unit #2512 - Contractor will provide sealant at interior of window perimeter as per manufacturer instructions (Photographs #2).

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

- Unit #2515 - Interior drywall exposed to wet conditions was tested for moisture. This area of drywall will require removal and replacement due to exposure and moisture content.
- Water damage was caused in units #2522 and #2512, by breaking sprinkler lines in attic space of unit # 2522. Contractor is working directly with Vintage Grand management regarding damage and corrections.
- Contractors have piled materials on lawn outside fenced construction area. Construction materials on site must be contained within fenced areas.
- New soffit wood has been attached at some locations with screws. These fasteners must be counter sunk and patched over prior to primer and finish coat painting.
- Section B- at balconies, contractor will provide Simpson Strong #SDW2458 screws 12" O.C. as per drawings.
- Section F- A/C boxes have been left attached to the sheathing and will be removed and attached after stucco is applied

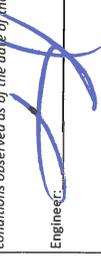
**ACTION REQUIRED BY OWNER:**

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

- None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:   
Date: 3/23/19



HEADQUARTERS  
10405 TECHNOLOGY TERRACE  
LAKEWOOD RANCH, FL 34211  
PH: 941-727-2600 FX: 941-758-5012  
www.delta-engineers.com

**COPY DISTRIBUTION:**  
 Owner  
 Contractor  
 Architect / Engineer  
 Building Department

**FIELD OBSERVATION REPORT - Bldg. #19 -Attic Repair**

Permit No. 18 158749 00 BR  
 Owner: Vintage Grand Condo Assn. Inc.  
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mike Jones  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Atelli  
 Phone/Fax: (941) 923-7980  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6486 / (239) 379-1978

**LEGEND:**  
 X: Complete  
 /: In Progress

Date: 03/19/19 Time: 8:08 AM Approx. Temp.: 54° F  
 Date: \_\_\_\_\_ Time: \_\_\_\_\_ Approx. Temp.: \_\_\_\_\_  
 Weather: \_\_\_\_\_ Rain: \_\_\_\_\_  
 Weather: \_\_\_\_\_

Unit	Demo	Truss Repairs	Fire Wall Repairs	Punch	Comments
1921	X	X	X	X	Contractor has provided gusset repairs at damaged truss.
1922	X	X	X	X	Contractor has provided gusset repairs at damaged truss.
1923	X	X	X	X	Contractor has provided fire wall repairs with Type X fire rated board and fire caulk.
1924	X	X	X	X	Contractor has provided gusset repairs at damaged truss.
1925	X	X	X	X	Contractor has provided gusset repairs at damaged truss.
1926	X	X	X	X	Contractor has provided scab repairs at damaged truss members.
1927	X	X	X	X	Contractor has provided gusset repairs at truss connections where connectors are damaged or not engaged. (Photograph #7).
1928	X	X	X	X	Contractor has provided scab repairs at damaged truss. (Photograph #6).

**ACTION REQUIRED BY CONTRACTOR:**

1. None

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

1. None

**ACTION REQUIRED BY OWNER:**

1. None

**ACTION REQUIRED BY ENGINEER:**

1. None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.  
 \_\_\_\_\_  
 Engineer Date: 3/25/19



HEADQUARTERS  
 10405 TECHNOLOGY TERRACE  
 LAKEWOOD RANCH, FL 34211  
 PH: 941-727-2600 FX: 941-758-5012  
 www.delta-engineers.com

**COPY DISTRIBUTION:**  
 Owner  
 Contractor  
 Architect / Engineer  
 Building Department

**FIELD OBSERVATION REPORT - Bldg. #13**

Permit No. 18-168745-00 BR  
 Owner: Vintage Grand Condo Assn, Inc.  
 Project Address: 4017 Chockers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss PW  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Atsili  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6486 / (239) 376-1978

Date: 03/19/19 Time: 8:08 AM Approx. Temp.: 54° F  
 Date: 03/21/19 Time: 8:10 AM Approx. Temp.: 58° F

Weather: Partly Cloudy  
 Weather: Rain

Unit	Demo	Framing & Shapping	Sheathing	Stucco	Sealant	Painting	Punch	Comments
1324	X	/						Contractor has not provided proper screws at built up beam (Photograph #9). Contractor has provided new 2"x6" pressure treated boards at deck (Photograph #8).

**ACTION REQUIRED BY CONTRACTOR:**

- Contractor is required to provide (2) rows Simpson #SDW22488 screws @ 12" C/C as per drawings (Photograph #9).

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

- None

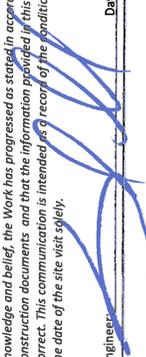
**ACTION REQUIRED BY OWNER:**

- None

**ACTION REQUIRED BY ENGINEER:**

- None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:  Date: 3/25/19



HEADQUARTERS  
 10405 TECHNOLOGY TERRACE  
 LAKEWOOD RANCH, FL 34211  
 PH: 941-727-2600 FX: 941-758-5012  
 www.delta-engineers.com

**COPY DISTRIBUTION:**  
 Owner  
 Contractor  
 Architect / Engineer  
 Building Department

**LEGEND:**  
 X: Complete  
 /: In Progress

Permit No. 18-158740-00 BR  
 Owner: Village Grand Condo Assn, Inc.  
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss PM  
 Type of Assessment: Progress

Project: R1605-302D  
 Contact: Glenn Atelli  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6486 / (339) 376-1978

Date: 03/21/19 Time: 8:10 AM Weather: Partly Cloudy  
 Approx. Temp.: 58° F  
 Date: Time: Approx. Temp.: ° F

Unit	Demo	Framing & strapping	Sheathing	Stucco	Sealant	Painting	Punch	Comments
727	X	/						Cedar header beam is damaged and will be required to be replaced (Photograph #10).

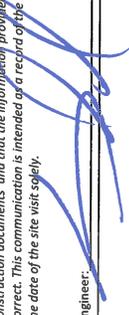
**ACTION REQUIRED BY CONTRACTOR:**  
 1. None

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**  
 1. None

**ACTION REQUIRED BY OWNER:**  
 1. None

**ACTION REQUIRED BY ENGINEER:**  
 1. None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:  Date: 3-25-19

PHOTOGRAPHS

PHOTOGRAPH #1



Kick out flashing at roof has not been completed with lath and stucco details.

**BUILDING 25  
SECTION B**

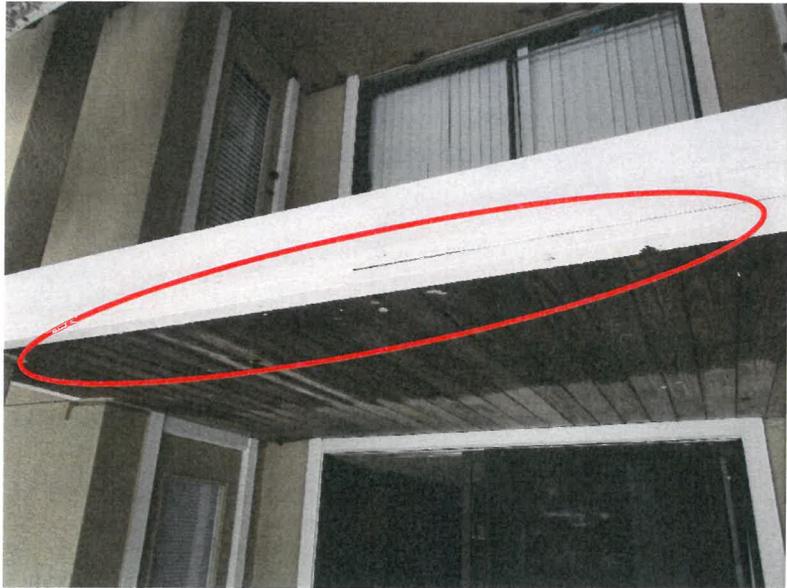
PHOTOGRAPH #2



Contractor has not provided interior sealant at new window perimeter.

**BUILDING 14  
UNIT # 2512**

PHOTOGRAPH #3



Contractor has replaced top 2"X 4" with continuous PT board at built up beam as per drawings.

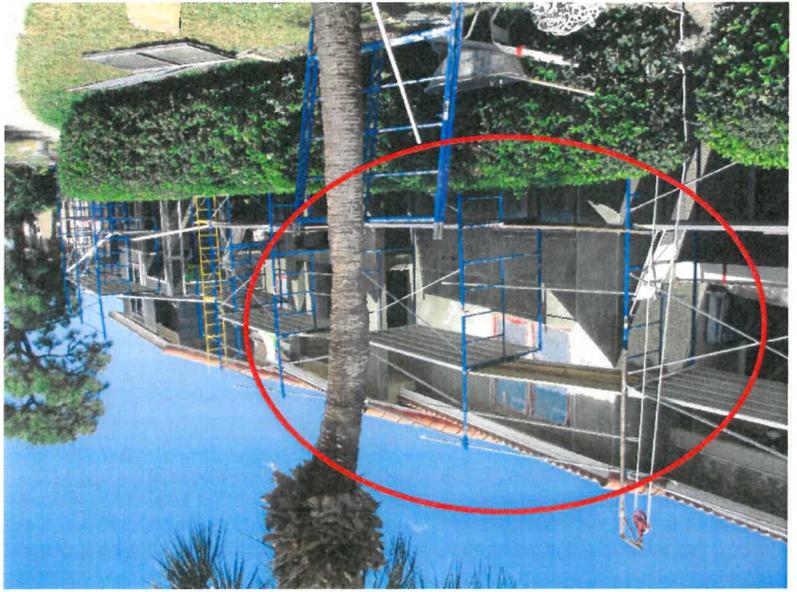
**BUILDING 25  
UNIT #2525**

PHOTOGRAPH #4



Contractor has begun surface preparation at steel handrails by removing loose paint and rusty surface.

**BUILDING 25  
SECTION E -BREEZWAY**



PHOTOGRAPH #5

Stucco sub – contractor is in process of applying brown coats and texture coats of stucco.

**BUILDING 25  
SECTION F**



PHOTOGRAPH #6

Contractor has provided scab repairs at damaged truss.

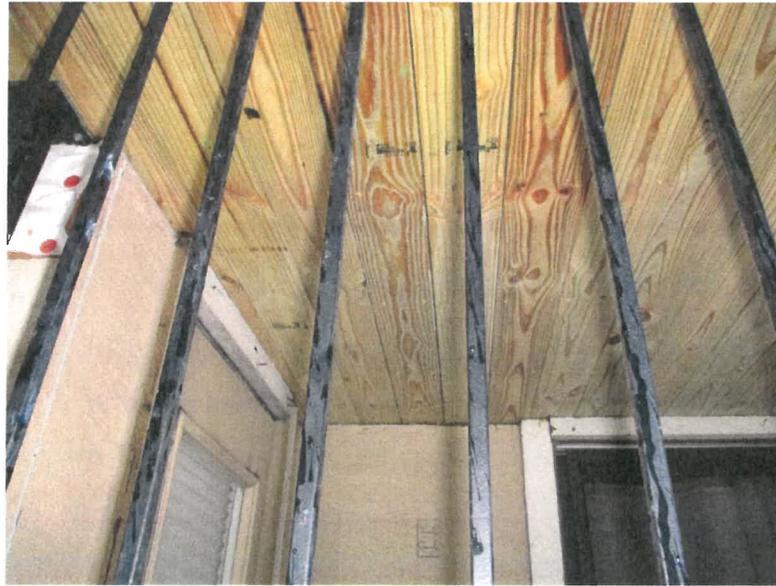
**BUILDING 19  
UNIT #1928 ATTIC**



PHOTOGRAPH #7

Contractor has provided gusset repairs at truss connections where connectors are damaged or not engaged.

**BUILDING 19**  
**UNIT #1927 ATTIC**



PHOTOGRAPH #8

Contractor has provided new 2"x6" pressure treated boards at deck.

**BUILDING 13**  
**UNIT #1324 BALCONY**



PHOTOGRAPH #9

**BUILDING 13**  
**UNIT #1324 BALCONY**  
Contractor has not provided proper screws at built up beam.



PHOTOGRAPH #10

**BUILDING 7**  
**UNIT #727**  
Cedar header beam is damaged and will be required to be replaced.

SHEET S-1.0

ISSUE DATES & REVISIONS  
PERMIT SET 05-07-18

DELTA JOB # R1503-302D  
DRAWN BY: M.P.J.  
CHECKED BY: C.M.D.  
APPROVED BY: S.J.M.  
DATE: 05/07/18

STEVEN J. MAINARDI, P.E.  
#56583

PROJECT NAME:  
WOOD FRAME REPAIRS & RELATED WORK  
(PHASE II)  
VINTAGE GRANDE CONDOMINIUM  
ASSOCIATION, INC.  
4012 CROCKERS LAKE BLVD.,  
SARASOTA, FL 34238

DRAWING TITLE:  
BUILDING #25 FLOOR PLAN -  
TYPE 1

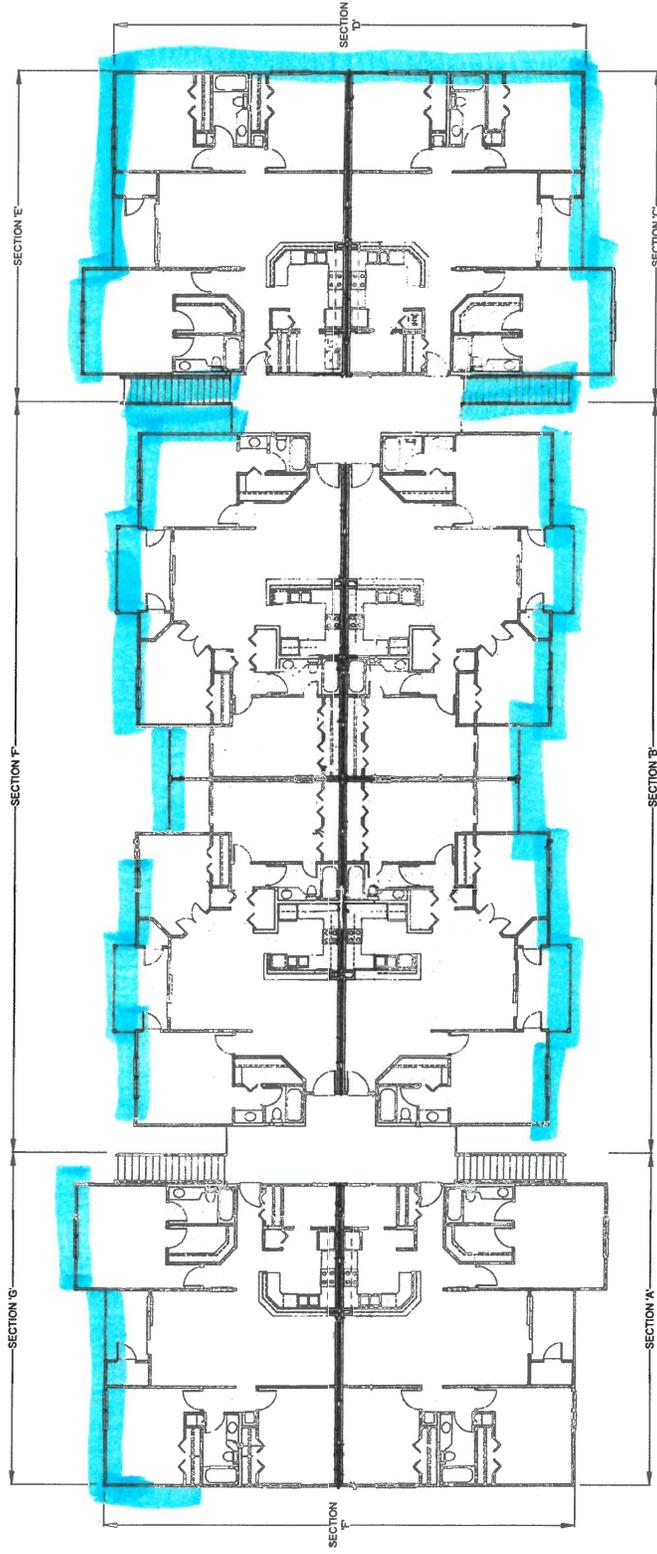
SEAL:

TO THE BEST OF THE ENGINEERS KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2017 FLORIDA BUILDING CODE AND THE APPLICABLE FIRE-SAFETY STANDARDS AS APPLICABLE TO THIS PROJECT IN ACCORDANCE WITH CHAPTERS 533 AND CHAPTER 633, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A PERIOD OF ONE YEAR FROM THE DATE IT IS SIGNED OR UNTIL A NEWER VERSION OF THE BUILDING CODE, HAVING THE JURISDICTION, IS ADOPTED, WHICH EVER OCCURS FIRST.

COPYRIGHT NOTICE: DELTA ENGINEERING & INSPECTION RESERVES ITS COMMON LAW AND OTHER COPYRIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS ARE NOT TO BE REPRODUCED OR CHANGED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF DELTA ENGINEERING & INSPECTION. FIRST OBTAINING WRITTEN PERMISSION.

©2018 DELTA ENGINEERING & INSPECTION, INC.



1 BUILDING #25 FLOOR PLAN - TYPE 1  
S-1.0 SCALE: N.T.S.