



HEADQUARTERS
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COPY DISTRIBUTION:
 Owner
 Contractor
 Architect / Engineer
 Building Department

FIELD OBSERVATION REPORT - Bldgs. #24

Permit No. 18-177559-00 BC
 Owner: Village Grand Condo Assn, Inc.
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc
 Inspector (s): Mark Boss
 Type of Assessment: Progress

Project: R1503-302E
 Contact: Glenn Atelli
 Phone/Fax: (841) 923-7360
 Contact: Craig Nicholas / Robert Brainscombe
 Phone: (841)232-6486 / (239) 379-1978

Date: 03/19/19 Time: 8:08 AM
 Date: 03/21/19 Time: 8:10 AM
 Weather: Partly Cloudy
 Rain: Partly Cloudy
 Approx. Temp.: 54° F
 Approx. Temp.: 58° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	/	NA	NA											
B	X	NA	NA											Framing damages are being identified and marked for repairs by Delta (Photographs #5, #6, #7 and #8).
C	X	NA	NA	/										Strapping provided does not transfer property to first floor studs and is not nailed properly (Photograph #3). Repairs have been made at damaged framing around floor window opening (Photograph #4).
D	X	X	/	X	/									Contractor has provided new plywood sheathing (Photograph #2).
E		NA	NA											
F		NA	NA											
G		NA	NA											
H														Contractor has built scaffolding for access to repairs (Photograph #1).

ACTION REQUIRED BY CONTRACTOR:

- 1. Contractor will provide strapping and nailing as per drawings and specifications (Photograph #3).

PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:

- 1. None

ACTION REQUIRED BY OWNER:

- 1. None

ACTION REQUIRED BY ENGINEER:

- 1. None

Based on the site observations conducted, this firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:

Date: 3/25/19

PHOTOGRAPHS

PHOTOGRAPH #1



**BUILDING 24
SECTION H**

Contractor has built scaffolding for access to repairs.

PHOTOGRAPH #2



**BUILDING 24
SECTION D**

Contractor has provided new plywood sheathing.

PHOTOGRAPH #3



**BUILDING 24
SECTION C**

Strapping provided does not transfer properly to first floor studs and is not nailed properly.

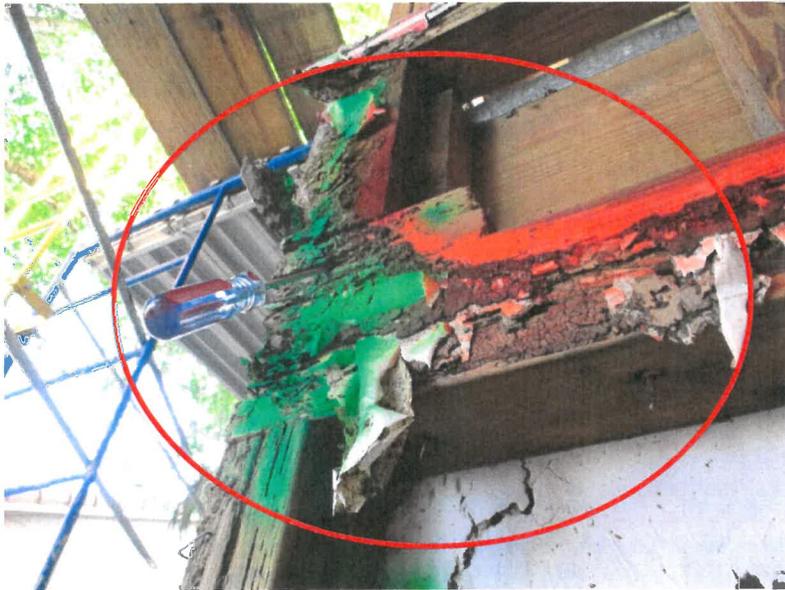
PHOTOGRAPH #4



**BUILDING 24
SECTION C**

Repairs have been made at damaged framing around ground floor window opening.

PHOTOGRAPH #5



**BUILDING 24
SECTION B**

Framing damages are being identified and marked for repairs by Delta.

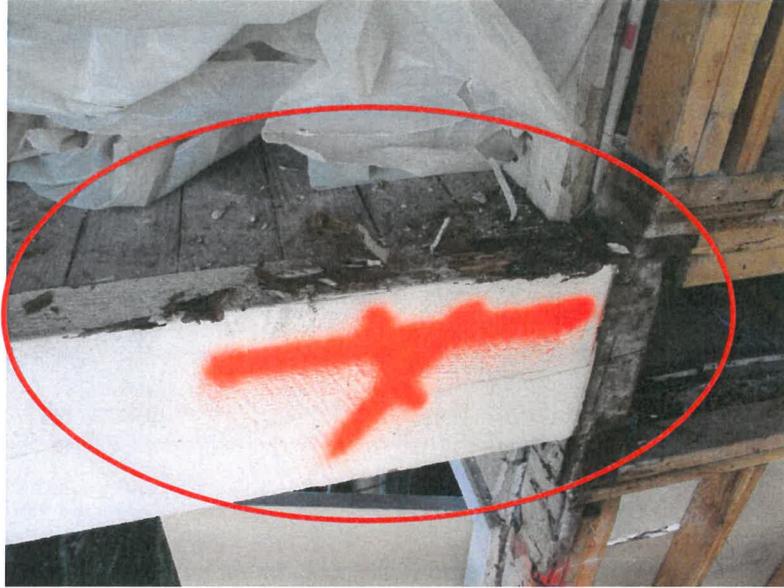
PHOTOGRAPH #6



**BUILDING 24
SECTION C**

Framing damages are being identified and marked for repairs by Delta.

PHOTOGRAPH #7



**BUILDING 24
SECTION B**

Framing damages are being identified and marked for repairs by Delta. This Cedar built up beam damaged by termite infestation.

PHOTOGRAPH #8



**BUILDING 24
SECTION B**

Framing damages are being identified and marked for repairs by Delta.

DELTA JOB # R1503-302D
 DRAWN BY: M.P.J.
 CHECKED BY: C.M.D.
 APPROVED BY: S.J.M.
 DATE: 05/07/18

ISSUE DATES & REVISIONS

SHEET S-1.0A

SEAL: STEVEN J. MAUNARDI, P.E. #55563

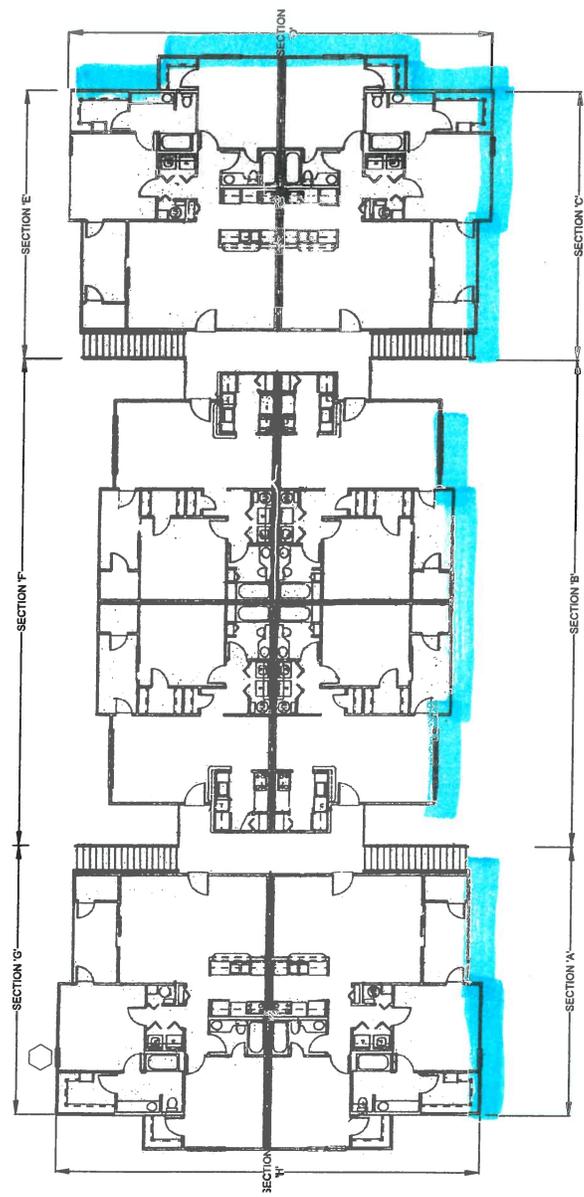
DRAWING TITLE:
TYPICAL PLAN - TYPE 2

PROJECT NAME:
 WOOD FRAME REPAIRS & RELATED WORK
 VINTAGE GRANDE CONDOMINIUM
 (PHASE III)
 4012 CROCKERS LAKE BLVD.
 SARASOTA, FL 34238

TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2017 FLORIDA BUILDING CODE AND THE 2017 FLORIDA ELECTRICAL CODE, AS APPLICABLE. THE STANDARDS AS SHOWN ON THESE PLANS ARE SUBJECT TO CHANGE WITHOUT NOTICE IN ACCORDANCE WITH CHAPTER 633 AND CHAPTER 633, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A PERIOD OF 180 DAYS FROM THE DATE IT IS SIGNED OR UNTIL A NEWER VERSION OF THE BUILDING CODE, HAVING JURISDICTION, IS ADOPTED, WHICHEVER OCCURS FIRST.

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DENOTES AREA OF WORK

1 TYPICAL PLAN - TYPE 2
 S-1.0A SCALE: N.T.S. BUILDING: 24