



HEADQUARTERS  
 10405 TECHNOLOGY TERRACE  
 LAKEWOOD RANCH, FL 34211  
 PH: 941-727-2600 FX: 941-758-5012  
 www.delta-engineers.com

**COPY DISTRIBUTION:**  
 Owner  
 Contractor  
 Architect / Engineer  
 Building Department

**FIELD OBSERVATION REPORT - Bldg #4**

Permit No. 1815874700BR  
 Owner: Village Grand Condo Assn, Inc.  
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss PM  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Ateili  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6466 / (239) 379-1978

Date: 02/26/19 Time: 8:15 AM Approx. Temp.: 69° F  
 Date: \_\_\_\_\_ Time: \_\_\_\_\_ Approx. Temp.: \_\_\_\_\_  
 Weather: Partly Cloudy  
 Weather: \_\_\_\_\_

**LEGEND:**  
 X: Complete  
 /: In Progress

Unit	Demo	Truss Repairs	Fire Wall Repairs	Punch	Comments
421	X	X	X	X	Contractor used 3m fire protectant foam in place of fire caulk as required. Corrections have been made by contractor.
422	X	X	X	X	Contractor has provided 5/8" Type X fire rated gypsum board at access hole through fire walls. (Photograph #1)
423	/	/	/	/	Contractors made truss repairs. This defective truss was added for repairs.
424	X	X	X	X	
425	/	/	/	/	
426	/	/	/	/	
427	/	/	/	/	
428	/	/	/	/	

**ACTION REQUIRED BY CONTRACTOR:**

1. None

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

1. None

**ACTION REQUIRED BY OWNER:**

1. None

**ACTION REQUIRED BY ENGINEER:**

1. None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer: \_\_\_\_\_

Date: 3/5/19



HEADQUARTERS  
 10405 TECHNOLOGY TERRACE  
 LAKEWOOD RANCH, FL 34211  
 PH: 941-727-2600 FX: 941-758-5012  
 www.delta-engineers.com

**COPY DISTRIBUTION:**  
 Owner  
 Contractor  
 Architect / Engineer  
 Building Department

**FIELD OBSERVATION REPORT - Bldg #17**

Permit No. 18 158744 00 BR  
 Owner: Village Grand Condo Assn, Inc.  
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss PM  
 Type of Assessment: Progress

Date: 02/28/19 Time: 8:15 AM  
 Date: 02/28/19 Time: 7:35 AM  
 Weather: Partly Cloudy Approx. Temp.: 69° F  
 Weather: Sunny Approx. Temp.: 64° F

**LEGEND:**  
 X: Complete  
 /: In Progress

Unit	Demo	Truss Repairs	Fire Wall Repairs	Punch	Comments
1721	X	X	X	X	Contractors made truss repairs. This gusset repair was added.
1722	/	/	/		
1723	X	X	X	X	Contractor has provided truss scab repairs at damaged truss (Photograph #2).
1724	X	X	X	X	Contractor has provided truss scab repairs at damaged truss (Photograph #4).
1725	/	/	/		
1726	X	X	X	X	Contractors made truss repairs. This broken truss was added for repairs.
1727	X	X	X	X	Contractor has provided truss scab repairs at damaged truss (Photograph #3).
1728	/	/	/		

**ACTION REQUIRED BY CONTRACTOR:**

1. None

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

1. None

**ACTION REQUIRED BY OWNER:**

1. None

**ACTION REQUIRED BY ENGINEER:**

1. None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.  
 Engineer:  Date: 3/5/19



HEADQUARTERS  
 10405 TECHNOLOGY TERRACE  
 LAKEWOOD RANCH, FL 34211  
 PH: 941-727-2600 FX: 941-758-5012  
 www.delta-engineers.com

**COPY DISTRIBUTION:**  
 Owner  
 Contractor  
 Architect / Engineer  
 Building Department

**LEGEND:**  
 X: Complete  
 /: In Progress

Project: R1503-302D  
 Contact: Glenn Atelli  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941) 232-6486 / (239) 379-1978

Permit No. 18-131555-00 BC  
 Owner: Vintage Grand Condo Assn, Inc.  
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss PM  
 Type of Assessment: Progress

Date: 02/26/19 Time: 8:15 AM  
 Date: 02/28/19 Time: 7:35 AM

Weather: Partly Cloudy  
 Weather: Sunny

Approx. Temp.: 69° F  
 Approx. Temp.: 64° F

**FIELD OBSERVATION REPORT - Bldg #14**

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	X	X	X	X	X	X	X	/	Balcony top railing attachments have been adjusted to fit, welded as previously attached and bolted to walls with new fasteners (Photograph #5).
B	X	NA	NA	X	X	X	X	X	X	X	X	X	/	Unit # 1413-Contractor has performed repairs at internal wall, attaching new exterior sheathing to wall studs. Reference ESI #6, detail drawing (Photograph #6).
C	X	X	X	X	X	X	X	X	X	X	X	X	/	
D	X	NA	NA	X	X	X	X	X	X	X	X	X	/	
E	X	NA	NA	X	X	X	X	X	X	X	X	X	/	
F	X	X	X	X	X	X	X	X	X	X	X	X	/	Delta performed final punch walk through with contractor and on-site manager. Punch items were marked and addressed. Delta will provide punch list and verify completion of punch items (Photograph #7).

**ACTION REQUIRED BY CONTRACTOR:**

1. Delta performed final punch walk through with Contractor and on-site manager. Punch items were marked to be addressed. Delta will provide punch list and verify completion of punch items (Photograph #7).

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

1. Stucco weep screed accessory at foundation (Section "C") is not properly sealed to the sheathing as change order # 6 requires. This location will require re-sealing.  
 2. Stucco weep screed accessory at foundation (Section "E") is not properly sealed to the sheathing as change order # 6 requires. This location will require re-sealing.

**ACTION REQUIRED BY OWNER:**

1. Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

1. Delta performed final punch walk through with Contractor and on-site manager. Punch items were marked to be addressed. Delta will provide punch list and verify completion of punch items (Photograph #7).

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.  
 Engineer:  Date: 3/5/19



HEADQUARTERS  
 10405 TECHNOLOGY TERRACE  
 LAKEWOOD RANCH, FL 34211  
 PH: 941-727-2600 FX: 941-758-5012  
 www.delta-engineers.com

**COPY DISTRIBUTION:**  
 X Owner  
 X Contractor  
 X Architect / Engineer  
 Building Department

**FIELD OBSERVATION REPORT - Bldg #25**

Permit No. 18-146012-00 BC  
 Owner: Vintage Grand Combo Assn, Inc.  
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Aielli  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941) 232-6486 / (239) 379-1978

Date: 02/26/19 Time: 8:15 AM  
 Date: 02/28/19 Time: 7:35 AM  
 Weather: Partly Cloudy  
 Approx. Temp.: 69° F  
 Approx. Temp.: 64° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & Strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	X	X	X	X	X				
B	X	NA	NA	X	X	X	X	X	X	/				New soffit wood has been attached at some locations with screws. These fasteners must be counter sunk and patched over prior to primer and finish coat painting. Stucco contractor has applied scratch and brown coats of stucco. (Photograph #12). Contractor has corrected new kick-out flashing at roof to wall intersections in preparation for new stucco. (Photograph #14).
C	X	NA	NA	X	X	X	X	X	X	/				Contractors have piled materials on lawn outside fenced construction area. Construction materials on site must be contained within fenced areas.
D	X	X	X	X	X	X	X	X	X	/				
E	X	NA	NA	X	X	/	X	X	/					Stucco sub-contractor has started stucco accessories application (Photograph #8).
F	X	NA	NA	X	/	/								Contractor has provided new concrete pedestals, column framing and wood preservative at balcony Type C1A (Photographs #9). Contractor has re-framed and installed strapping connectors at balcony C1A (Photograph #10). Contractors have provided strapping connectors and termite treatment (Photograph #11). Contractor has installed new flashing at balconies (Photograph #13). Contractor has begun installation of new windows (Photograph #18).
G	/	NA	NA	/										Damaged and decayed members have been inspected and marked by Delta for repairs.
H	X	X	X	X	X	X	X	X	X	/				Delta has performed PH testing of new stucco in preparation for primer application (Photograph #15). Contractor has begun application of primer with specified Florida Paints primer (Photographs #16 and #17). Soil at grade has not been removed to provide 6 inches from top of stucco to bottom of slope grade 2% to provide positive drainage.

**ACTION REQUIRED BY CONTRACTOR:**

- None

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

- Unit # 2515- Interior drywall exposed to wet conditions was tested for moisture. This area of drywall will require removal and replacement due to exposure and moisture content.
- Unit # 2511- Interior of front bedroom areas, carpet and walls are wet. Contractor and management have been notified by Delta. Effected areas will require further investigative confirmation and restoration repairs as deemed necessary and applicable.
- Water damage was caused in units #2522 and #2512 by breaking sprinkler lines in attic space of unit # 2522. Contractor is working directly with Vintage Grand management regarding damage and corrections.
- Contractors have piled materials on lawn outside fenced construction area. Construction materials on site must be contained within fenced areas.
- New soffit wood has been attached at some locations with screws. These fasteners must be counter sunk and patched over prior to primer and finish coat painting.

**ACTION REQUIRED BY OWNER:**

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

- None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site work solely.

Engineer:  Date: 3/5/19

PHOTOGRAPHS

PHOTOGRAPH #1



**BUILDING 4**  
**UNIT #422 ATTIC**  
Contractor has provided 5/8" Type X fire rated gypsum board as at access hole through fire walls.

PHOTOGRAPH #2



**BUILDING 17**  
**UNIT #1723 ATTIC**  
Contractor has provided truss scab repairs at damaged truss.

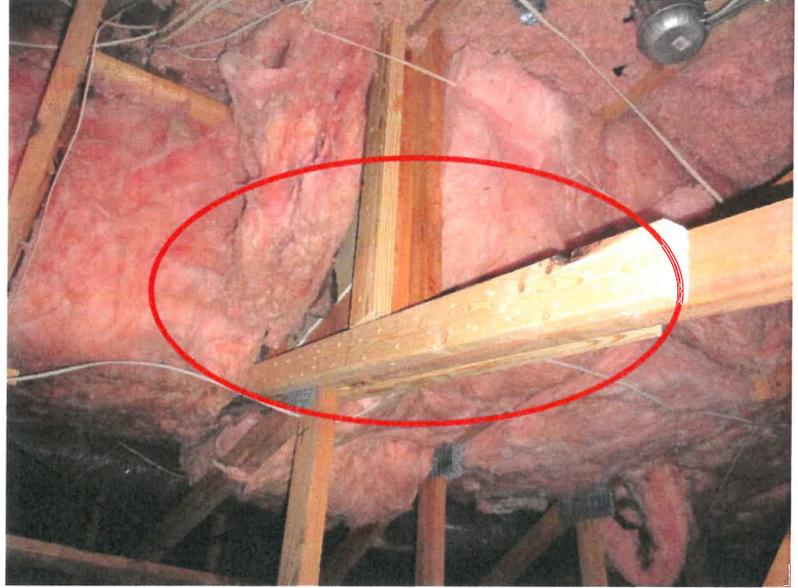
PHOTOGRAPH #3



Contractor has provided truss scab repairs at damaged truss.

**BUILDING 17  
UNIT #1727 ATTIC**

PHOTOGRAPH #4



Contractor has provided truss scab repairs at damaged truss.

**BUILDING 17  
UNIT #1724 ATTIC**

PHOTOGRAPH #5



Balcony top railing attachments have been adjusted to fit, welded to top rails as previously attached and bolted to walls with new fasteners.

**BUILDING 14  
SECTION B**

PHOTOGRAPH #6



Contractor has performed repairs at internal wall, attaching new exterior sheathing to wall studs. Reference ESI #6, detail drawing.

**BUILDING 14  
UNIT #1413**

PHOTOGRAPH #7



Delta performed final punch walk through with contractor and on-site manager. Punch items were marked to be addressed. Delta will provide punch list and verify completion of punch items.

**BUILDING 14  
SECTION F**

PHOTOGRAPH #8



Stucco sub-contractor has started stucco accessories application.

**BUILDING 25  
SECTION E**

PHOTOGRAPH #9



Contractor has provided new concrete pedestals, column framing and wood preservative at balcony Type C1A.

**BUILDING 25  
SECTION F**

Contractor has re-framed and installed strapping connectors at balcony C1A.

**BUILDING 25  
SECTION F**



PHOTOGRAPH #10

PHOTOGRAPH #11



Contractors has provided strapping  
connectors and termite treatment.

**BUILDING 25  
SECTION F**

PHOTOGRAPH #12



Stucco contractor has applied scratch and  
brown coats of stucco.

**BUILDING 25  
SECTION B**

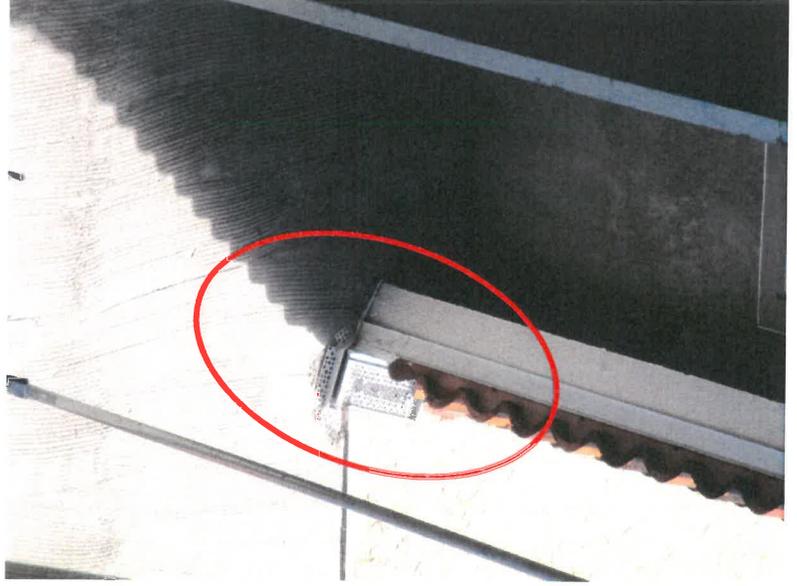
PHOTOGRAPH #13



Contractor has installed new flashing at balconies.

**BUILDING 25  
SECTION F**

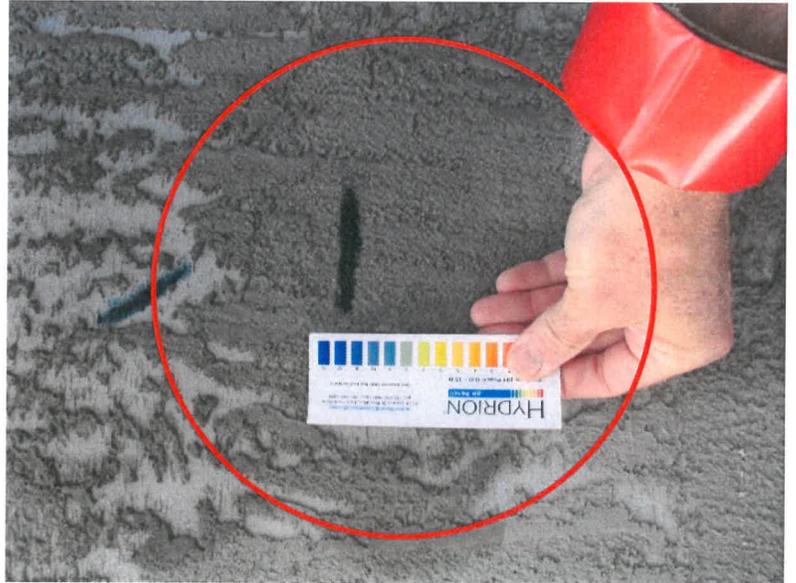
PHOTOGRAPH #14



Contractor has corrected new kick-out flashing at roof to wall intersections in preparation for new stucco.

**BUILDING 25  
SECTION B**

PHOTOGRAPH #15



Delta has performed PH testing of new stucco in preparation for primer application.

**BUILDING 25  
SECTION H**

Contractor has begun application of primer with specified Florida Paints primer.

**BUILDING 25  
SECTION H**



PHOTOGRAPH #16

PHOTOGRAPH #17



Contractor has begun application of primer with specified Florida Paints

**SECTION H  
BUILDING 25**

primer.

PHOTOGRAPH #18



Contractor has begun installation of new windows.

**SECTION F  
BUILDING 25**

DELTA JOB # R1503-3020  
 DRAWN BY: M.P.J.  
 CHECKED BY: C.M.D.  
 APPROVED BY: S.J.M.  
 DATE: 05/07/18  
 ISSUE DATES & REVISIONS  
 PERMIT SET 05-07-18  
 SHEET S-1.0

STEVEN J. MAINARDI, P.E.  
 #56563

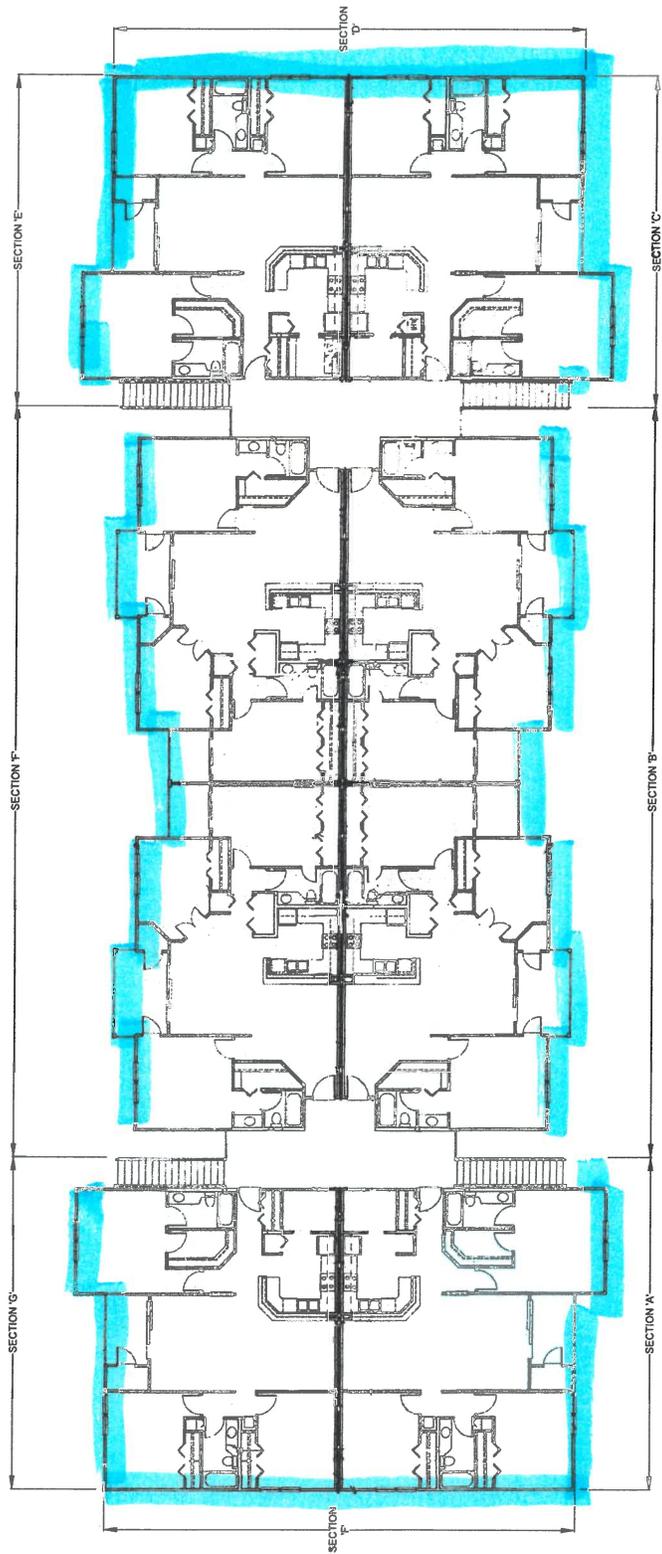
PROJECT NAME  
 WOOD FRAME REPAIRS & RELATED WORK  
 (PHASE II)  
 VINTAGE GRANDE CONDOMINIUM  
 ASSOCIATION, INC.  
 4012 CROCKERS LAKE BLVD.,  
 SARASOTA, FL 34238

DRAWING TITLE  
 BUILDING #25 FLOOR PLAN -  
 TYPE 1

TO THE BEST OF THE ENGINEERS  
 KNOWLEDGE, THESE PLANS AND  
 SPECIFICATIONS COMPLY WITH THE 2017  
 FLORIDA BUILDING CODE AND THE  
 APPLICABLE FIRE SAFETY STANDARDS AS  
 APPLICABLE TO THE PROJECT AND IN  
 ACCORDANCE WITH CHAPTER 633, AND  
 CHAPTER 633, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A  
 LIMITED PERIOD OF TIME UNTIL IT IS  
 SIGNED OR UNTIL A NEWER VERSION OF  
 THE BUILDING CODE, HAVING  
 JURISDICTION, IS ADOPTED, WHICH EVER  
 OCCURS FIRST.

COPYRIGHT NOTICE: DELTA ENGINEERING  
 & INSPECTION RESERVES ITS COMMON  
 LAW AND OTHER COPYRIGHTS IN THESE  
 PLANS, IDEAS AND DESIGNS. THESE PLANS  
 MAY BE REPRODUCED OR TRANSMITTED IN  
 ANY MANNER, ELECTRONIC OR MECHANICAL,  
 INCLUDING PHOTOCOPYING, RECORDING, OR  
 BY ANY INFORMATION STORAGE AND  
 RETRIEVAL SYSTEM, WITHOUT THE WRITTEN  
 PERMISSION OF DELTA ENGINEERING & INSPECTION, INC.  
 8004 DELTA ENGINEERING & INSPECTION, INC.  
**DELTA**  
**ENGINEERING**  
 WISCONSIN TECHNOLOGY TEMPLATE  
 LAKELAND HANDBOOK, FL 33811  
 CORPORATION  
 PH: 813.722.2000 FAX: 813.722.8179  
 #25



AREA OF WORK

1 BUILDING #25 FLOOR PLAN - TYPE 1  
 S-1.0 SCALE: N.T.S.