



HEADQUARTERS
 10405 TECHNOLOGY TERRACE
 LAKEWOOD RANCH, FL 34211
 PH: 941-727-2600 FX: 941-758-5012
 www.delta-engineers.com

COPY DISTRIBUTION:
 X Owner
 X Contractor
 X Architect / Engineer
 □ Building Department

FIELD OBSERVATION REPORT - Bldg #14

Permit No. 18-131555-00 BC
 Owner: Vintage Grand Condo Assn, Inc.
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc
 Inspector (s): Mark Boss PM / Mike Jones
 Type of Assessment: Progress

Project: R1503-302D
 Contact: Glenn Atelli
 Phone/Fax: (941) 923-7380
 Contact: Craig Nicholas / Robert Branscombe
 Phone: (941) 232-6486 / (239) 379-1978

Weather: Sunny
 Weather: Sunny
 Weather: Sunny
 Approx. Temp.: 72° F
 Approx. Temp.: 62° F
 Approx. Temp.: 65° F
 Approx. Temp.: 61° F

Date: 02/04/19 Time: 2:00 PM
 Date: 02/05/19 Time: 10:30 AM
 Date: 02/06/19 Time: 11:00 AM
 Date: 02/07/19 Time: 7:50 AM

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Attic Repair	Punch	Comments
A	X	NA	NA	X	X	X	X	X	X	X	X	/	X		(Photographs #1 and #2), (Photograph #3), (Photograph #4).
B	X	NA	NA	X	X	X	X	X	X	X	X	/	X		(Photograph #5).
C	X	X	X	X	X	X	X	X	X	X	X	/	X		Contractor has installed un-approved louvered vent caps and will replace with preferred vent caps with guard. (Photograph #6).
D	X	NA	NA	X	X	X	X	X	X	X	X	/	X		Water testing by certified AAMA certified testing contractor was performed as per project manual protocol. Test failed as small amount of water entered and passed the interior plan of window at bottom left side.
E	X	NA	NA	X	X	X	X	X	X	X	X	X	X		
F	X	X	X	X	X	X	X	X	X	X	X	X	X		

ACTION REQUIRED BY CONTRACTOR:

1. None

PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:

- SIKALASTIC ROOF PRO applied at base of sheathing transition to foundation as per ES#1 has not been installed or corrected according to manufacturer requirements.
- Stucco weep screed accessory at foundation (Section "C") is not properly sealed to the sheathing as change order #6 requires. This location will require re-sealing.
- Unit #1411- 2nd water test water penetrated the interior plane of window at the bottom left sill location, failing the test. Contractor will perform corrective measures and re schedule water testing.
- Stucco weep screed accessory at foundation (Section "E") is not properly sealed to the sheathing as change order # 6 requires. This location will require re-sealing.
- Contractor has installed un-approved louvered vent caps and will replace with preferred vent caps with guard.

ACTION REQUIRED BY OWNER:

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

ACTION REQUIRED BY ENGINEER:

1. None

Based on the site observations conducted, this firm certifies that to the best of its knowledge and belief, the work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.



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FIELD OBSERVATION REPORT - Bldg #25

Permit No. 18-146012-00 BC
Owner: Vintage Grand Condo Assn, Inc.
Project Address: 4017 Crockers Lake Blvd., Sarasota, FL
Contractor: RL James Inc
Inspector (s): Mark Boss
Type of Assessment: Progress

Project: R1503-302D
Contact: Glenn Atell
Phone/Fax: (941) 923-7380
Contact: Craig Nicholas / Robert Branscombe
Phone: (941) 232-6486 / (239) 379-1978

Date: 02/04/19 Time: 2:00 PM
Date: 02/05/19 Time: 10:30 AM
Date: 02/07/19 Time: 7:50 AM

Weather: Sunny
Weather: Sunny
Weather: Sunny

Approx. Temp.: 72° F
Approx. Temp.: 72° F
Approx. Temp.: 61° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Attic Repairs	Punch	Comments
A	X	NA	NA	X	X	/	X	X	/						Sub-contractor has installed vertical 6" self-adhering straight - flash at vertical control joints as per drawings(Photograph #12).
B	X	NA	NA	X	X	/	X	X	/						Sub-contractor has installed new PVC accessories and lath per specifications and drawings(Photograph #10). New fasteners meet distance minimums and lath over lapping is as per specifications (Photograph #11).
C	X	NA	NA	X	X	/	X	X	X						Contractor has removed old stucco and thermo-ply, exposing deterioration and collapse of framing. Delta has inspected and marked for repairs (Photographs #7 and #8). Contractor has removed old stucco and thermo-ply, exposing deteriorated framing Delta has inspected and marked for repairs (Photograph #9).
D	X	X	X	X	X	/	X	X					X		
E	/	NA	NA	/											
F		NA	NA												
G		NA	NA												
H	X	X	X	X	X	/	X	X					X		

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

[Signature] 2-11-19

ACTION REQUIRED BY CONTRACTOR:

1. None
- PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**
1. Open walls were wind conditions have blown off protection have been exposed to wet conditions. Conditions will require evaluation and repair as required prior to sheathing installation.
 2. Unit # 2515- Interior drywall exposed to wet conditions was tested for moisture. This area of drywall will require removal and replacement due to exposure and moisture content.
 3. Unit # 2511- Interior of front bedroom areas, carpet and walls are wet. Contractor and management have been notified by Delta. Effected areas will require further investigative confirmation and restoration repairs as deemed necessary and applicable.
 4. Water damage was caused in units #2522 and #2512 by breaking sprinkler lines in attic space of unit # 2522. Contractor is working directly with Vintage Grand management regarding damage and corrections.

ACTION REQUIRED BY OWNER:

1. Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

ACTION REQUIRED BY ENGINEER:

1. None



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LEGEND:
 X: Complete
 /: In Progress

FIELD OBSERVATION REPORT - Bldg #4

Permit No. 1815874700BR
 Owner: Vintage Grand Condo Assn, Inc.
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc
 Inspector (s): Mark Boss PM
 Type of Assessment: Progress

Project: R1503-302D
 Contact: Glenn Atelli
 Phone/Fax: (941) 923-7380
 Contact: Craig Nicholas / Robert Branscombe
 Phone: (941) 232-6486 / (239) 379-1978

Date: 02/04/19 Time: 2:00 PM Approx. Temp.: 72° F
 Date: Time: Approx. Temp.:

Weather: Sunny
 Weather:

Unit	Demo	Truss Repairs	Fire wall repairs	Punch	Comments
421	/	/	/		
422	/	/	/		
423	/	/	/		Fire wall does not meet roof sheathing at top of wall. Contractor will be required to make fire wall repairs at this location (Photograph #4). Contractor has made repairs to broken truss members as per repair details and drawings (Photograph #5).
424	/	/	/		Contractor will make repairs to deflected truss member as per BCSI-B3 standards (Photograph #6).
425	/	/	/		
426	/	/	/		
427	/	/	/		
428	/	/	/		

ACTION REQUIRED BY CONTRACTOR:

1. None

PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:

1. None

ACTION REQUIRED BY OWNER:

1. None

ACTION REQUIRED BY ENGINEER:

1. None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

[Signature]
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FIELD OBSERVATION REPORT - Bldg #13

Permit No. 18-158745-00-BR
 Owner: Vintago Grand Condo Assn, Inc.
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc
 Inspector (s): Mark Boss PM / Mike Jones
 Type of Assessment: Progress

Project: R1503-302D
 Contact: Glenn Atelli
 Phone/Fax: (941) 923-7380
 Contact: Craig Nicholas / Robert Branscombe
 Phone: (941) 232-6486 / (239) 379-1978

Date: 02/04/19 Time: 2:00 PM Approx. Temp.: 72° F
 Date: 02/05/19 Time: 7:50 AM Approx. Temp.: 81° F

Weather: Sunny
 Weather: Sunny

Unit	Demo	Framing & strapping	Sheathing	Framing & strapping	Stucco	Sealant	Painting	Punch	Comments
1324	/								Contractor has removed rails and deteriorated build up beam, exposing areas of repair required as per drawings and specifications (Photographs #1 and #2). Balcony tong and groove deck boards will be replaced due to deteriorated condition (Photograph #3).

ACTION REQUIRED BY CONTRACTOR:

1. None

PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:

1. None

ACTION REQUIRED BY OWNER:

1. None

ACTION REQUIRED BY ENGINEER:

1. None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

[Signature]
 2-11-19

DELTA JOB # R1503-3022
 DRAWN BY: M.P.J.
 CHECKED BY: C.M.D.
 APPROVED BY: S.J.M.
 DATE: 05/07/18
 ISSUE DATES & REVISIONS
 PERMIT SET 05-07-18
 SHEET S-1.0A

SEAL:
 STEVEN J. MAINARDI, P.E.
 #55653

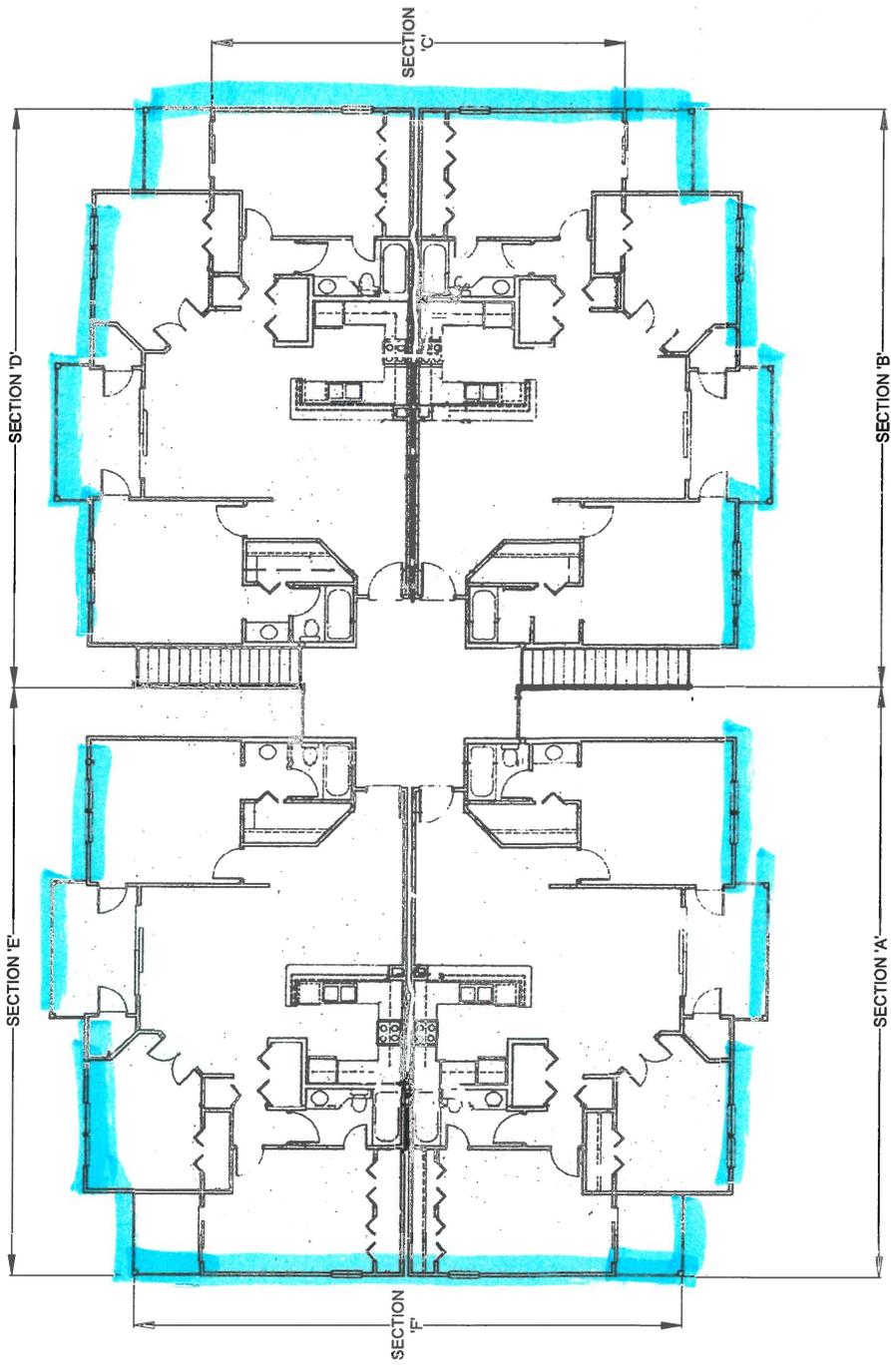
DRAWING TITLE:
 BUILDING #14 FLOOR PLAN -
 TYPE I

PROJECT NAME:
 WOOD FRAME REPAIRS & RELATED WORK
 VINTAGE GRANDE CONDOMINIUM
 ASSOCIATION, INC.
 4012 CROCKERS LAKE BLVD.,
 SARASOTA, FL 34238

TO THE BEST OF THE ENGINEERS
 KNOWLEDGE, THESE PLANS AND
 SPECIFICATIONS COMPLY WITH THE 2017
 FLORIDA BUILDING CODE AND THE
 APPLICABLE FIRE-SAFETY STANDARDS AS
 DETERMINED BY THE LOCAL AUTHORITY IN
 CHARGE OF ENFORCEMENT AND
 CHAPTER 633, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A
 PERIOD OF 1 YEAR AFTER THE DATE IT IS
 ISSUED OR UNTIL A NEWER VERSION OF
 THE BUILDING CODE OR LOCAL AUTHORITY
 JURISDICTION IS ADOPTED, WHICH EVER
 OCCURS FIRST.

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■ DENOTES AREA OF WORK

1 BUILDING #14 FLOOR PLAN - TYPE 5
 S-1.0A SCALE: N.T.S.

DELTA JOB # R1503-302D
 DRAWN BY: M.P.J.
 CHECKED BY: C.M.D.
 APPROVED BY: S.J.M.
 DATE: 05/07/18
 ISSUE DATES & REVISIONS
 PERMIT SET 05-07-18
 SHEET S-1.0

STEVEN J. MAINARDI, P.E.
 #56563
 SEAL:

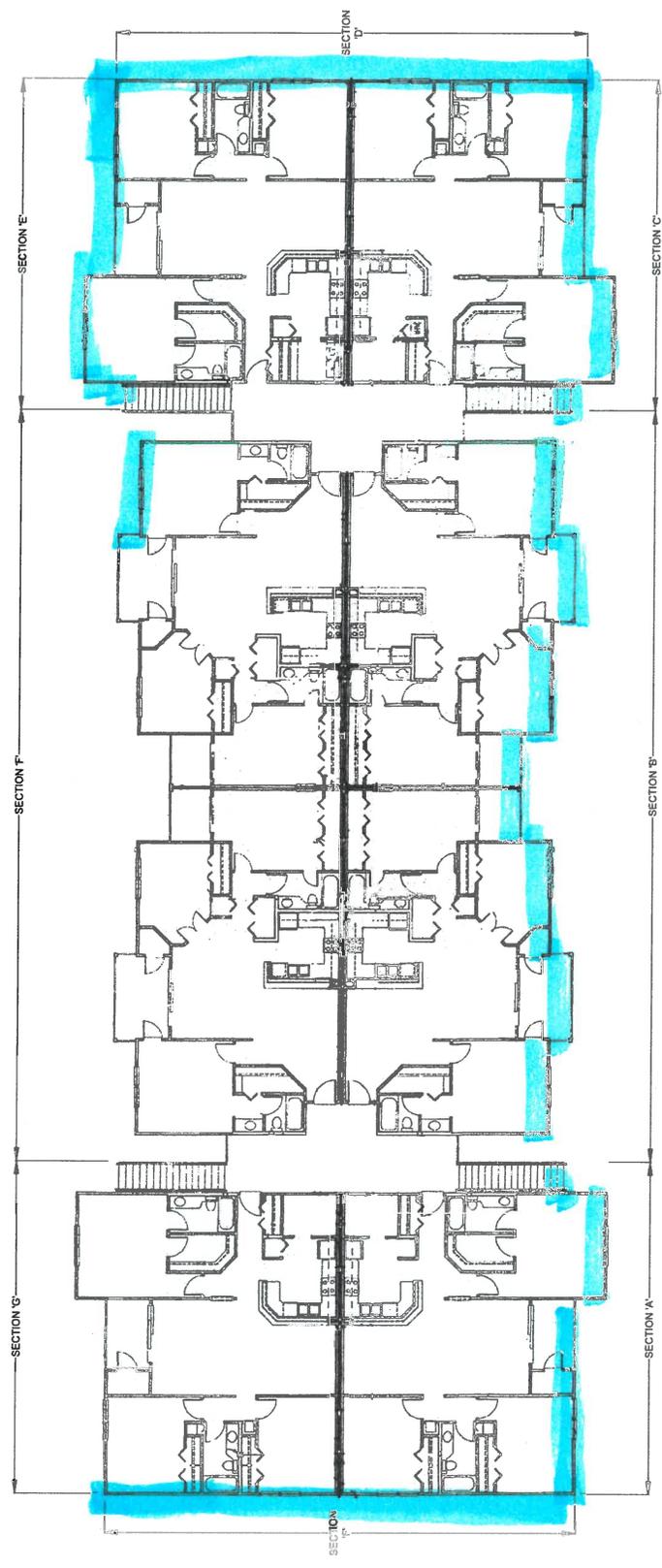
DRAWING TITLE:
BUILDING #25 FLOOR PLAN - TYPE 1

PROJECT NAME:
**WOOD FRAME REPAIRS & RELATED WORK (PHASE II)
 VINTAGE GRANDE CONDOMINIUM ASSOCIATION, INC.
 4012 CROCKERS LAKE BLVD., SARASOTA, FL 34238**

TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2017 FLORIDA BUILDING CODE AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN JURISDICTION. THESE PLANS SHALL BE SUBJECT TO THE LOCAL AUTHORITY IN CHAPTER 635, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A PERIOD OF 1 YEAR AFTER THE DATE IT IS SIGNED OR UNTIL A NEWER VERSION OF THE DRAWING IS ADOPED, WHICHEVER OCCURS FIRST.

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AREA OF WORK

1 BUILDING #25 FLOOR PLAN - TYPE 1
 S-1.0 SCALE: N.T.S.

PHOTOGRAPHS

PHOTOGRAPH #1



BUILDING 13 UNIT # 1324

Contractor has removed rails and deteriorated build up beam, exposing areas of repair required as per drawings and specifications.

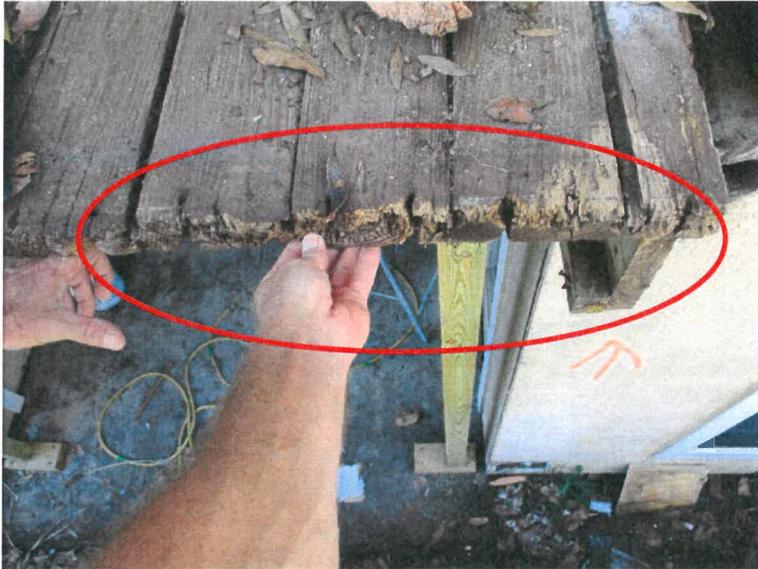
PHOTOGRAPH #2



BUILDING 13 UNIT # 1324

Contractor has removed rails and deteriorated build up beam, exposing areas of repair required as per drawings and specifications.

PHOTOGRAPH #3



**BUILDING 13
UNIT # 1324**

Balcony tong and groove deck boards will be replaced due to deteriorated condition.

PHOTOGRAPH #4



**BUILDING 4
ATTIC REPAIRS UNIT #423**

Fire wall does not meet roof sheathing at top of wall. Contractor will be required to make fire wall repairs at this location.

PHOTOGRAPH #5



**BUILDING 4
ATTIC REPAIRS UNIT #423**

Contractor has made repairs to broken truss members as per repair details and drawings. Delta is verifying repairs and quantities.

PHOTOGRAPH #6



**BUILDING 4
ATTIC REPAIRS UNIT #424**

Contractor will make repairs to deflected truss member as per BCSI-B3 standards.

PHOTOGRAPH #7



**BUILDING 25
BREEZWAY ELEVATION E**

Contractor has removed old stucco and thermo-ply, exposing deterioration and collapse of framing. Delta has inspected and marked for repairs.

PHOTOGRAPH #8



**BUILDING 25
BREEZWAY ELEVATION E**

Contractor has removed old stucco and thermo-ply, exposing deterioration and collapse of framing. Delta has inspected and marked for repairs.

PHOTOGRAPH #9



**BUILDING 25
ELEVATION E**

Contractor has removed old stucco and thermo-ply, exposing deteriorated framing Delta has inspected and marked for repairs.

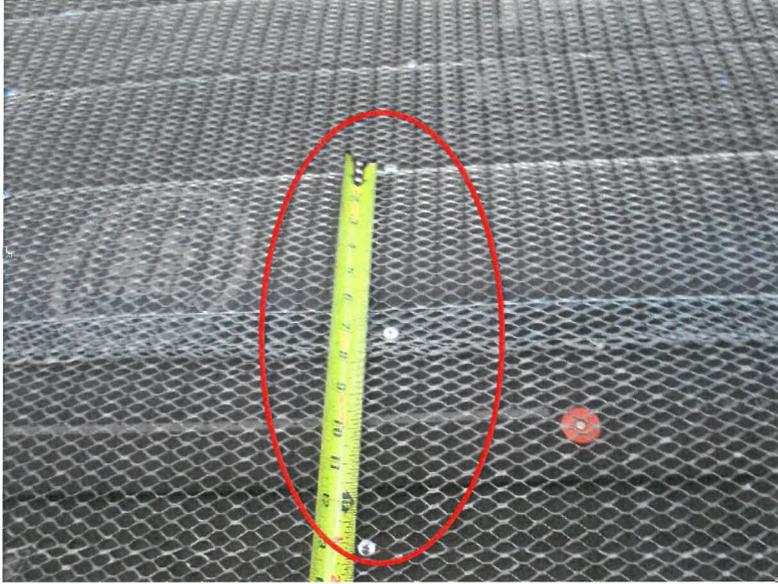
PHOTOGRAPH #10



**BUILDING 25
ELEVATION C**

Sub-contractor has installed new PVC accessories and lath per specifications and drawings.

PHOTOGRAPH #11



**BUILDING 25
ELEVATION C**

Sub-contractor has installed new PVC accessories and lath per specifications and drawings. New fasteners meet distance minimums and lath over lapping is as per specifications.

PHOTOGRAPH #12



**BUILDING 25
ELEVATION A**

Sub-contractor has installed vertical 6" self-adhering straight – flash at vertical control joints as per drawings.