



HEADQUARTERS  
10405 TECHNOLOGY TERRACE  
LAKEWOOD RANCH, FL 34211  
PH: 941-727-2600 FX: 941-758-5012  
www.delta-engineers.com

**COPY DISTRIBUTION:**  
 Owner  
 Contractor  
 Architect / Engineer  
 Building Department

**FIELD OBSERVATION REPORT - Bldg #14**

Permit No. 18-131565-00 BC  
 Owner: Village Grand Condo Assn, Inc.  
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc.  
 Inspector (s): Mark Boss PM  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Atelli  
 Phone/Fax: (941) 923-7360  
 Contact: Craig Nicholas / Robert Brainscombe  
 Phone: (941) 232-6486 / (239) 379-1978

Date: 01/07/19 Time: 9:40 AM Weather: Sunny Approx. Temp.: 66° F  
 Date: 01/08/19 Time: 1:10 PM Weather: Partly Cloudy Approx. Temp.: 77° F  
 Date: 01/09/19 Time: 11:00 AM Weather: Partly Cloudy Approx. Temp.: 71° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	X	X	X	X	X				New Stucco to existing stucco termination is too far outboard on the corner balcony. Termination is to occur within the balcony area that will not be seen from the exterior when screen framing is installed.
B	X	NA	NA	X	X	X	X	X	X	X				Light fixture has been improperly attached directly to the plywood sheathing and stucco has been stopped with a stucco stop accessory. Stucco is required to be continuous behind light fixtures. Contractor will remove and re-do stucco as required.
C	X	X	X	X	X	X	X	X	X	/				Contractor has begun to apply specified primer to new stucco (Photograph #7). Stucco weep screed accessory at foundation is not properly sealed to the sheathing as change order # 6 requires. This location will require re-sealing.
D	X	NA	NA	X	X	X	X	X	X	/				Contractor has applied specified primer to new stucco (Photograph #6).
E	X	NA	NA	X	X	X	X	X	X	/				Contractor began to prime balcony ceiling surface before cleaning mildew from the surface as required by specifications and paint manufacturers application instructions (Photograph #4). Contractor has completed mock up at gutter diversion kick out flashing detail (Photograph #8).
F	X	X	X	X	X	X	X	X	X	/				Water testing by certified AAMA certified testing contractor was performed as per project manual protocol. Installed as small amount of water entered and passed the interior plan of window at bottom left side (Photographs #1 and #2). Contractor has applied specified primer and finish paint on new stucco mock up area (Photograph #5). Contractor has applied wood primer as specified to the new wood soffit. Nail holes will be filled and sealants applied at transitions and seams prior to application of finish paint (Photograph #9).

**ACTION REQUIRED BY CONTRACTOR:**

- Contractor began to prime balcony ceiling surface before cleaning mildew from the surface as required by specifications and paint manufacturers application instructions (Photograph #4).
- Contractor has applied wood primer as specified to the new wood soffit. Nail holes will be filled and sealants applied at transitions and seams prior to application of finish paint (Photograph #9).

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

- SIKALASTIC ROOF PRO applied at base of sheathing transition to foundation as per ES1 #1 has not been installed or corrected according to manufactures requirements.
- New Stucco to existing stucco termination is too far outboard on two balconies. Termination is to occur within the balcony area that will not be seen from the exterior when screen framing is installed.
- Dryer vents in wall will require extension and flashing details per specifications prior to stucco system application.
- Stucco weep screed accessory at foundation (Section 'C') is not properly sealed to the sheathing as change order # 6 requires. This location will require re-sealing.
- Unit #1411- 2nd water test water penetrated the interior plane of window at the bottom left sill location, failing the test. Contractor will perform corrective measures and re schedule water testing.
- Stucco weep screed accessory at foundation (Section 'E') is not properly sealed to the sheathing as change order # 6 requires. This location will require re-sealing.
- Light fixture has been improperly attached directly to the plywood sheathing and stucco has been stopped with a stucco stop accessory. Stucco is required to be continuous behind light fixtures. Contractor will remove and re-do stucco as required.

**ACTION REQUIRED BY OWNER:**

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

- Provide ES1 for repair work behind FPL electrical boxes at Elevation 'C'.

Based on the site observations conducted, this firm certifies that to the best of its knowledge and belief, the work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit only.

Engineer:  Date: 1-15-19

Contractor Address  
 THESE ISSUES PRIOR  
 TO NEXT PAY APP



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**LEGEND:**  
 X: Complete  
 /: In Progress

**FIELD OBSERVATION REPORT - Bldg #25**

Permit No. 18-146012-00 BC  
 Owner: Vintage Grand Condo Assn, Inc.  
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Atelli  
 Phone/Fax: (941) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941) 232-6486 / (239) 379-1978

Date: 01/07/19 Time: 9:40 AM Weather: Sunny Approx. Temp.: 66° F  
 Date: 01/08/19 Time: 1:10 PM Weather: Partly Cloudy Approx. Temp.: 77° F  
 Date: 01/09/19 Time: 11:00 AM Weather: Partly Cloudy Approx. Temp.: 71° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Softi	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	/	/	/						Unit #2511-Water testing by certified AAMA certified testing contractor was performed as per project manual protocol. Water test passed with no leaks (Photograph #5).
B	X	NA	NA	X	/	/								
C	X	NA	NA	X	/	/								
D	X			/										Damage, deterioration and collapse conditions observed and marked for repairs (Photographs #10, #11, #12 and #13).
E		NA	NA											
F		NA	NA											
G		NA	NA											
H	X	/		/										Framing repairs at gable end wall has been completed and quantified with contractor (Photograph #14).

**ACTION REQUIRED BY CONTRACTOR:**

- Water damage was caused in units #2522 and #2512 by breaking sprinkler lines in attic space of unit # 2522. Contractor is working directly with Vintage Grand management regarding damage and corrections.

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

- Open walls were wind conditions have blown off protection have been exposed to wet conditions. Conditions will require evaluation and repair as required prior to sheathing installation.
- Unit # 2515- Interior drywall exposed to wet conditions was tested for moisture. This area of drywall will require removal and replacement due to exposure and moisture content.
- Unit # 2511- Interior of front bedroom areas, carpet and walls are wet. Contractor and management have been notified by Delta. Effected areas will require further investigative confirmation and restoration repairs as deemed necessary and applicable.

**ACTION REQUIRED BY OWNER:**

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

- None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:  Date: 1-14-19

## PHOTOGRAPHS

PHOTOGRAPH #1



### BUILDING 14 UNIT # 1411

Water testing by certified AAMA certified testing contractor was performed as per project manual protocol.

PHOTOGRAPH #2



### BUILDING 14 UNIT # 1411

Water testing by certified AAMA certified testing contractor was performed as per project manual protocol. Test failed as small amount of water entered and passed the interior plan of window at bottom left side.

**PHOTOGRAPH #3**



**BUILDING 25  
UNIT # 2511**

Water testing by certified AAMA certified testing contractor was performed as per project manual protocol. Water test passed with no leaks.

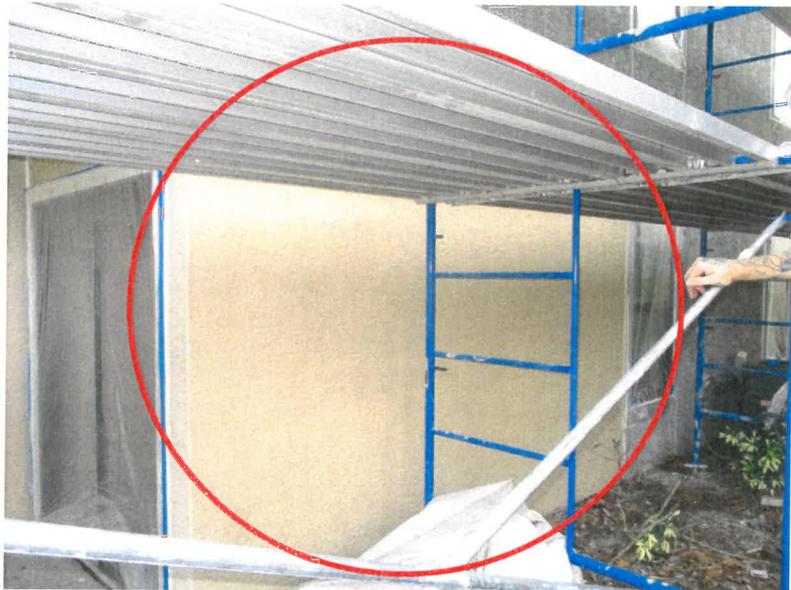
**PHOTOGRAPH #4**



**BUILDING 14  
ELEVATION E**

Contractor began to prime balcony ceiling surface before cleaning mildew from the surface as required by specifications and paint manufacturers application instructions.

**PHOTOGRAPH #5**



**BUILDING 14  
ELEVATION F**

Contractor has applied specified primer and finish paint on new stucco mock up area.

**PHOTOGRAPH #6**



**BUILDING 14  
ELEVATION D**

Contractor has applied specified primer to new stucco.

**PHOTOGRAPH #7**



**BUILDING 14  
ELEVATION C**

Contractor has begun to apply specified primer to new stucco.

**PHOTOGRAPH #8**



**BUILDING 14  
ELEVATION E**

Contractor has completed mock up at gutter diversion kick out flashing detail.

**PHOTOGRAPH #9**



**BUILDING 14  
ELEVATION F**

Contractor has applied wood primer as specified to the new wood soffit. Nail holes will be filled and sealants applied at transitions and seams prior to application of finish paint.

**PHOTOGRAPH #10**



**BUILDING 25  
ELEVATION D**

Damage, deterioration and collapse conditions observed and marked for repairs.

**PHOTOGRAPH #11**



**BUILDING 25  
ELEVATION D**

Damage, deterioration and collapse conditions observed and marked for repairs.

**PHOTOGRAPH #12**



**BUILDING 25  
ELEVATION D**

Damage, deterioration and collapse conditions observed and marked for repairs.

**PHOTOGRAPH #13**



**BUILDING 25  
ELEVATION D**

Damage, deterioration and collapse conditions observed and marked for repairs.

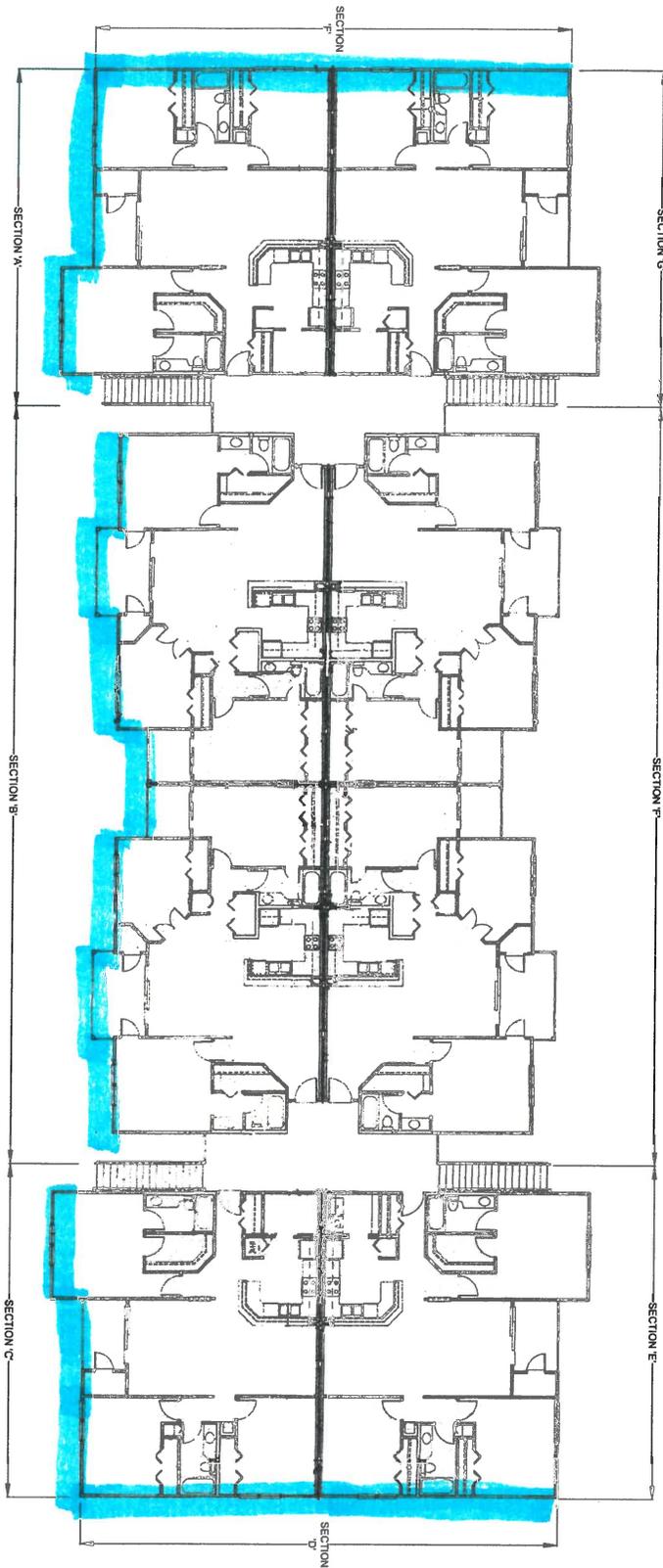
**PHOTOGRAPH #14**



**BUILDING 25  
ELEVATION H**

Framing repairs at gable end wall has been completed and quantified with contractor.





1 BUILDING #25 FLOOR PLAN - TYPE 1  
 S-1.0 SCALE: N.T.S.

AREA OF WORK

**DELTA**  
 ENGINEERING

WOOD FRAME REPAIRS & RELATED WORK (PHASE II)  
 VINTAGE GRANDE CONDOMINIUM ASSOCIATION, INC.  
 4012 CROCKERS LAKE BLVD., SARASOTA, FL 34238

**DRAWING TITLE:**  
 BUILDING #25 FLOOR PLAN - TYPE 1

**PROJECT NAME:**  
 WOOD FRAME REPAIRS & RELATED WORK (PHASE II)  
 VINTAGE GRANDE CONDOMINIUM ASSOCIATION, INC.  
 4012 CROCKERS LAKE BLVD., SARASOTA, FL 34238

**SEAL:**  
 STEVEN J. MAINARDI, P.E.  
 #56563

**DELTA JOB #** R1503-302D  
**DRAWN BY:** M.P.J.  
**CHECKED BY:** C.M.D.  
**APPROVED BY:** S.J.M.  
**DATE:** 05/07/18

**ISSUE DATES & REVISIONS**  
 PERMIT SET 05-07-18

**SHEET** S-1.0

TO THE BEST OF THE ENGINEERS KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2017 FLORIDA BUILDING CODE AND THE APPLICABLE RULES AND REGULATIONS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH CHAPTER 633 AND CHAPTER 633, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A PERIOD OF NINETEEN (19) MONTHS FROM THE DATE OF ISSUANCE OF THESE PLANS UNLESS THE BUILDING CODE, HAVING JURISDICTION, IS ADOPTED, WHICH EVER OCCURS FIRST.

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