



**HEADQUARTERS**  
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 LAKEWOOD RANCH, FL 34211  
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**COPY DISTRIBUTION:**  
 X Owner  
 X Contractor  
 X Architect / Engineer  
 X Building Department

**FIELD OBSERVATION REPORT - Bid #14**

Permit No. 18-131555-00 BC  
 Owner: Vinlege Grand Condo Assn, Inc.  
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boas PM  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Atelli  
 Phone/Fax: (941) 923-7390  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941) 232-6486 / (239) 378-1978

Date: 11/26/18 Time: 8:10 AM Weather: Partly Cloudy Approx. Temp.: 46° F  
 Date: 11/29/18 Time: 8:00 AM Weather: Cloudy Approx. Temp.: 48° F  
 Date: 11/30/18 Time: 11:25 PM Weather: Partly Cloudy Approx. Temp.: 76° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & Strapping	Sheathing	Soffit	Window Flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	/	X	X	/	/				New Stucco to existing stucco termination is too far outboard of balcony. Termination is to occur within the balcony area that will not be seen from the exterior when screen framing is installed. (Photograph #8).
B	X	NA	NA	X	X	/	X	X	/	/				Contractor has removed partial stucco and sheathing behind FPL electrical panels. Delta directed contractor to not remove this area in order to avoid complications with high voltage electrical utilities. (Photograph #1).
C	X			X	/		X	X						Kick out flashing is above existing roof shingles. Contractor to remove and reinstall per contract drawings (Photograph #5). Dryer vents in wall have not been extended or flashed as per specifications prior to stucco application (Photograph #6).
D	X	NA	NA	X	X	/	X	X	X	/				Contractor has not sealed bottom edge of wall termination as per C.O. #7. Stucco weep screed accessories and stucco has already been applied and will require removal for proper application (Photograph #2). Stucco finish mock up has been completed and accepted (Photograph #3). New Stucco to existing stucco termination is to far outboard of balcony. Termination is to occur within the balcony area that will not be seen from the exterior when screen framing is installed (Photograph #4).
E	X	NA	NA	X	X	/	X	X	X	/				Contractor to use weep screed with holes or provide tubes when using stucco stop accessories above flashing at balcony as per drawings (Photograph #7).
F	X			X	/		X	X	/	/				Contractor to use weep screed with holes or provide tubes when using stucco stop accessories above flashing at balcony as per drawings (Photograph #7).

**ACTION REQUIRED BY CONTRACTOR:**

- Determine location each required mock-up (framing & strapping, sheathing, Tyvek, stucco, window & window flashing, sealant joints, and painting).
- Contractor has removed partial stucco and sheathing behind FPL electrical panels. Delta directed contractor to not remove this area in order to avoid complications with high voltage electrical utilities. (Photographs #1)
- Contractor has not sealed bottom edge of wall termination as per C.O. #7. Stucco weep screed accessories and stucco has already been applied and will require removal for proper application (Photograph #2).
- Stucco finish mock up has been completed and accepted (Photograph #3).
- New Stucco to existing stucco termination is to far outboard of balcony. Termination is to occur within the balcony area that will not be seen from the exterior when screen framing is installed. (Photograph #4).
- Kick out flashing is above existing roof shingles. Contractor to remove and reinstall per contract drawings (Photograph #5).
- Dryer vents in wall have not been extended or flashed as per specifications prior to stucco application (Photograph #6).
- Contractor to use weep screed with holes or provide tubes when using stucco stop accessories above flashing at balcony as per drawings (Photograph #7).
- New Stucco to existing stucco termination is too far outboard of balcony. Termination is to occur within the balcony area that will not be seen from the exterior when screen framing is installed (Photograph #8).

**PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:**

- SIKALASTIC ROOF PRO applied at base of sheathing transition to foundation as per ESI #1 has not been installed or corrected according to manufactures requirements.
- Repair damaged pedestal at section A where chipped.
- Contractor to remove construction debris daily. Construction safety barriers to remain in place until completion of this project.
- Dryer vents in wall will require extension and flashing details per specifications prior to stucco system application.
- Kick-out flashing above existing roof shingles. Contractor to remove and reinstall per contractor drawing.
- Soffit trim not installed in a matching fashion. Contractor to reinstall soffit trim to match at butt joint.
- Contractor to secure soffit vent to plywood. Contractor to provide additional fasteners at elevations 'D' & 'E'.
- Control joint flanges to be secured at no more than 7' intervals per ASTM C1083. Contractor to provide additional fasteners at elevations 'D' & 'E'.

**ACTION REQUIRED BY OWNER:**

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

**ACTION REQUIRED BY ENGINEER:**

- None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.  
 Date: 12-5-18  
 Engineer: [Signature]

## PHOTOGRAPHS

PHOTOGRAPH #1



### BUILDING 14 ELEVATION C

Contractor has removed partial stucco and sheathing behind FPL electrical panels. Delta directed contractor to not remove this area in order to avoid complications with high voltage electrical utilities.

PHOTOGRAPH #2



### BUILDING 14 ELEVATION E

Contractor has not sealed bottom edge of wall termination as per C.O. #7. Stucco weep screed accessories and stucco has already been applied and will require removal for proper application.

**PHOTOGRAPH #3**



**BUILDING 14  
ELEVATION E**

Stucco finish mock up has been completed and accepted.

**PHOTOGRAPH #4**



**BUILDING 14  
ELEVATION E**

New Stucco to existing stucco termination is to far outboud of balcony. Termination is to occur within the balcony area that will not be seen from the exterior when screen framing is installed.

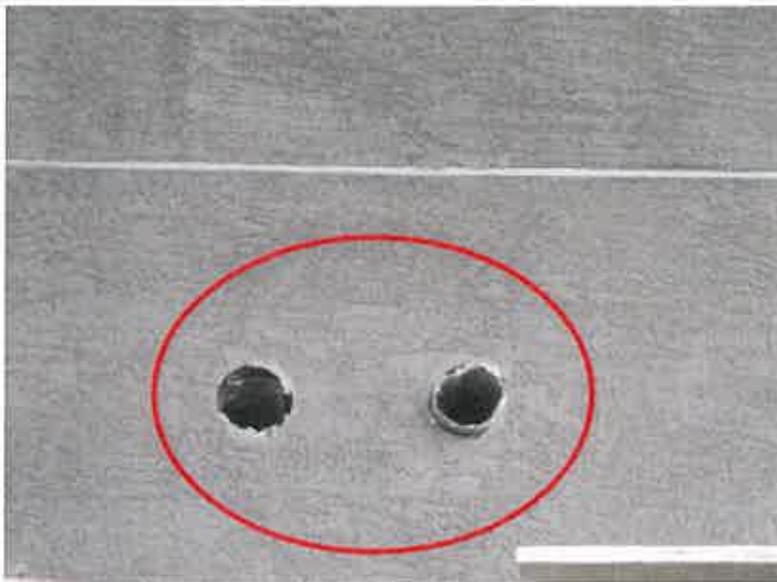
**PHOTOGRAPH #5**



**BUILDING 14  
ELEVATION D**

Kick out flashing is above existing roof shingles. Contractor to remove and reinstall per contract drawings.

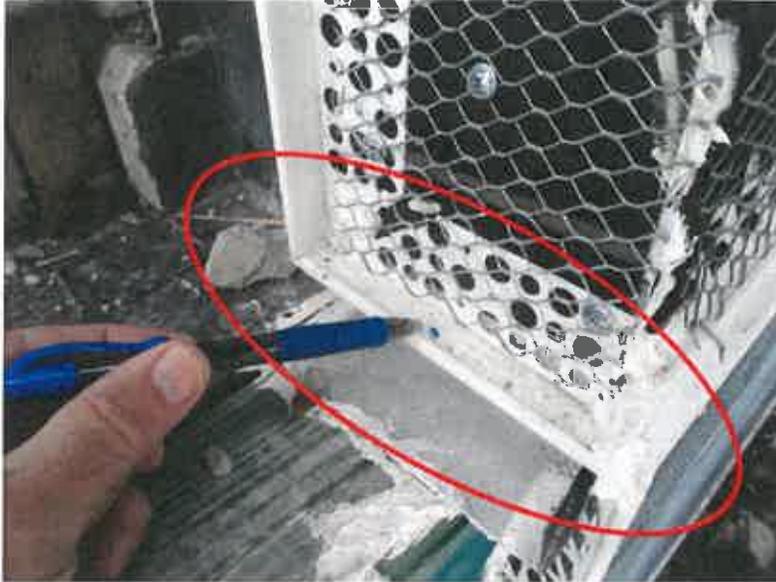
**PHOTOGRAPH #6**



**BUILDING 14  
ELEVATION D**

Dryer vents in wall have not been extended or flashed as per specifications prior to stucco application.

**PHOTOGRAPH #7**



**BUILDING 14  
ELEVATION F**

Contractor to use weep screed with holes or provide holes when using stucco stop accessories above flashing at balcony as per drawings.

**PHOTOGRAPH #8**



**BUILDING 14  
ELEVATION B**

New Stucco to existing stucco termination is too far outbound of balcony. Termination is to occur within the balcony area that will not be seen from the exterior when screen framing is installed.

DELTA JOB # R1603-302D  
 DRAWN BY: M.P.J.  
 CHECKED BY: C.M.D.  
 APPROVED BY: S.J.M.  
 DATE: 05/07/18  
 ISSUE DATES & REVISIONS  
 PERMIT SET 06-07-18  
 SHEET S-1.0A

STEVEN J. MANARDI, P.E.  
 #56563

DRAWING TITLE  
**BUILDING #14 FLOOR PLAN - TYPE 1**

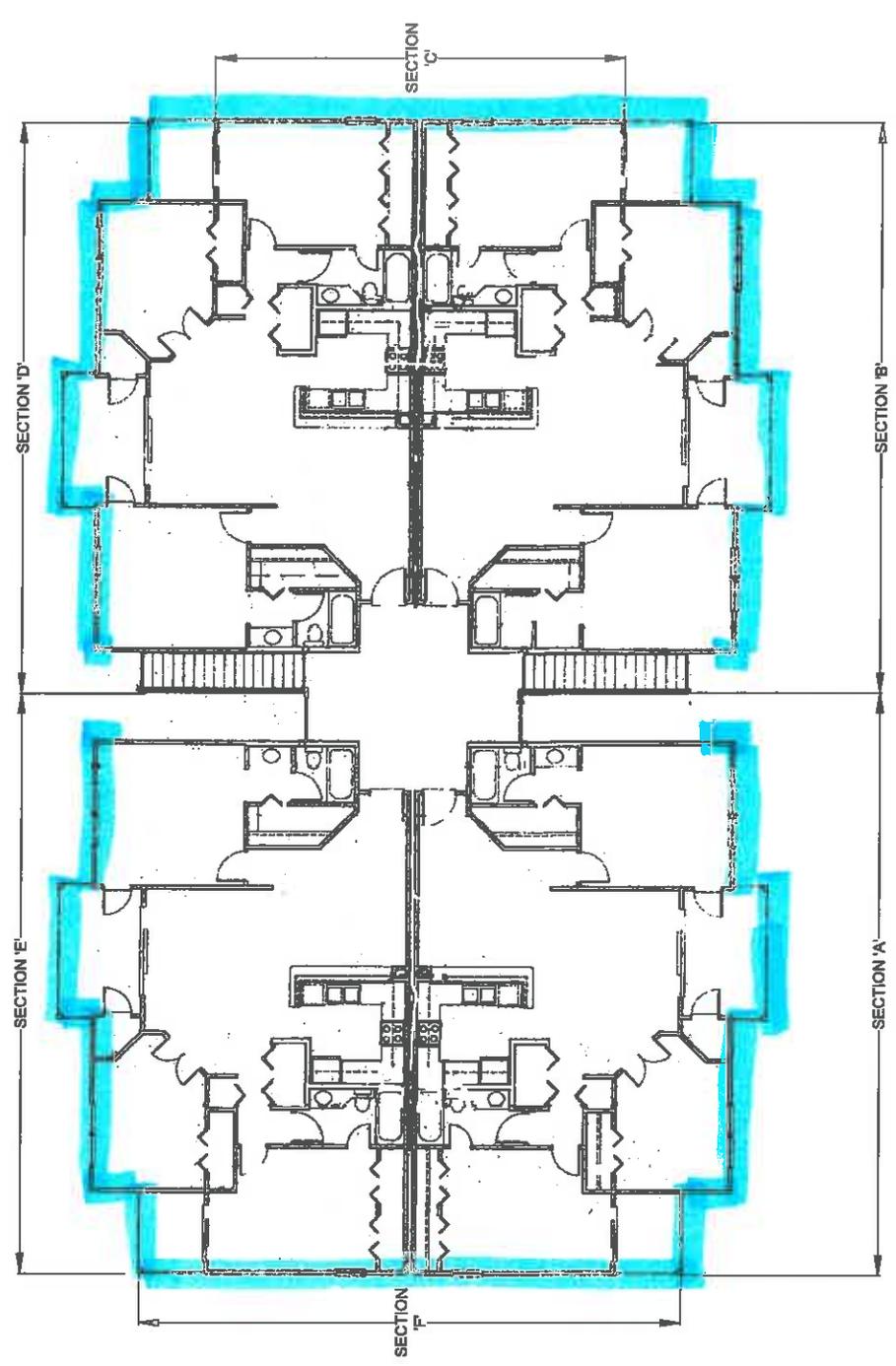
PROJECT NAME:  
**WOOD FRAME REPAIRS & RELATED WORK  
 (PHASE II)  
 VINTAGE GRANDE CONDOMINIUM  
 ASSOCIATION, INC.  
 4012 CROCKERS LAKE BLVD.,  
 SARASOTA, FL 34238**

TO THE BEST OF THE ENGINEERS KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2017 FLORIDA BUILDING CODE AND ALL APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH CHAPTER 633 AND CHAPTER 553, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A PERIOD OF 1 YEAR AFTER THE DATE IT IS SIGNED OR UNTIL A NEWER VERSION OF THE BUILDING CODE, HAVING JURISDICTION, IS ADOPTED, WHICH EVER OCCURS FIRST.

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**1** BUILDING #14 FLOOR PLAN - TYPE 5  
 S-1.0A SCALE: N.T.S.

 DENOTES AREA OF WORK