



HEADQUARTERS
 10405 TECHNOLOGY TERRACE
 LAKEWOOD RANCH, FL 34211
 PH: 941-727-2600 FX: 941-758-5012
 www.delta-engineers.com

COPY DISTRIBUTION:
 Owner
 Contractor
 Architect / Engineer
 Building Department

FIELD OBSERVATION REPORT - Biga #14

Permit No. 19-131555-00 BC
 Owner: Village Grand Condo Assn, Inc.
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc
 Inspector (e): Mark Boss PM / Mike Jones
 Type of Assessment: Progress

Project: R1503-302D
 Contact: Glenn Atelli
 Phone/Fax: (941) 923-7350
 Contact: Craig Nicholas / Robert Branscombe
 Phone: (941) 232-6486 / (239) 379-1978

Weather: Partly Cloudy
 Weather: Cloudy
 Weather: Cloudy

Approx. Temp.: 54° F
 Approx. Temp.: 59° F
 Approx. Temp.: 65° F

Date: 12/11/18 Time: 8:11 AM
 Date: 12/13/18 Time: 10:30 AM
 Date: 12/14/18 Time: 10:15 AM

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	X	X	X	X	X	X					Flashing at balcony has been re-positioned and will require re-placing stucco accessories, lath and new stucco as per specifications (Photograph #3). Contractor is not cleaning the site daily as required by Project Manual (Photograph #6).
B	X	NA	NA	X	X	X	X	X	X					Flashing at balcony has been re-positioned and will require re-placing stucco accessories, lath and new stucco as per specifications (Photograph #3). Contractor is not cleaning the site daily as required by Project Manual (Photograph #6).
C	X	X	X	X	X	X	X	X	X	X				Contractor has applied Tyvek flashing and installed new vents as per drawings and specifications (Photograph #4). Contractor has not completed flashing requirements at hose bib penetration as required (Photograph #5). Contractor is not cleaning the site daily as required by Project Manual (Photograph #7). Flashing at balcony has been re-positioned and will require re-placing stucco accessories, lath and new stucco as per specifications (Photograph #3).
D	X	NA	NA	X	X	X	X	X	X	X				Several new accessories at window heads do not have weep holes as required by project manual and drawings. Contractor will add weep holes as required (Photograph #1).
E	X	NA	NA	X	X	X	X	X	X	X				Several new accessories at window heads do not have weep holes as required by project manual and drawings. Contractor will add weep holes as required (Photograph #1).
F	X	X	X	X	X	X	X	X	X	X				Several new accessories at window heads do not have weep holes as required by project manual and drawings. Contractor will add weep holes as required (Photograph #1).

ACTION REQUIRED BY CONTRACTOR:

- Determine location each required mock-up (framing & strapping, sheathing, Tyvek, stucco, window & window flashing, sealant joints, and painting).
- Several new accessories at window heads do not have weep holes as required by project manual and drawings. Contractor will add weep holes as required (Photograph #1).
- Flashing at balcony has been re-positioned and will require re-placing stucco accessories, lath and new stucco as per specifications (Photograph #2).
- Flashing at balcony has been re-positioned and will require re-placing stucco accessories, lath and new stucco as per specifications (Photograph #3).
- Contractor has not completed flashing requirements at hose bib penetration as required (Photograph #5).
- Contractor is required by Project Manual to clean site daily (Photographs #6 and #7).

PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:

- SIKALASTIC ROOF PRO applied at base of sheathing transition to foundation as per ESI #1 has not been installed or corrected according to manufacture requirements.
- New Stucco to existing stucco termination is too far outboard of one balconies. Termination is to occur within the balcony area that will not be seen from the exterior when screen framing is installed.
- Contractor to remove construction debris daily. Construction safety barriers to remain in place until completion of this project.
- Dryer vents in wall will require extension and flashing details per specifications prior to stucco system application.
- Kick-out flashing above existing roof shingles. Contractor to remove and re-install per contractor drawing.
- Contractor has removed partial stucco and sheathing behind FPL electrical panels. Delta directed contractor to not remove this area in order to avoid complications with high voltage electrical utilities.
- Contractor has not sealed bottom edge of wall termination as per C.O. #7. Stucco weep screed accessories and stucco has already been applied and will require removal for proper application.
- Unit #1411 - Water penetrated the interior plane of window at the bottom right sill location, falling the test. Contractor will perform corrective measures and re schedule water testing.

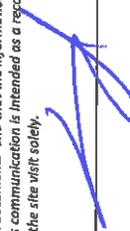
ACTION REQUIRED BY OWNER:

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

1. None

ACTION REQUIRED BY ENGINEER:

Based on the site observations conducted, this firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:  Date: 12/11/18



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□ Building Department

FIELD OBSERVATION REPORT - Bldg #25

Permit No. 18-146012-00 BC
 Owner: Village Grand Condo Assn, Inc.
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc
 Inspector (s): Mark Boss / Mike Jones
 Type of Assessment: Progress

Project: RT503-302D
 Contact: Glenn Atall
 Phone/Fax: (941) 923-7380
 Contact: Craig Nicholas / Robert Branscombe
 Phone: (941) 232-6486 / (239) 379-1978

LEGEND:
X: Complete
/: In Progress

Date: 12/11/18 Time: 8:11 AM
 Date: 12/13/18 Time: 10:30 AM
 Date: 12/14/18 Time: 10:15 AM

Weather: Partly Cloudy
 Weather: Cloudy
 Weather: Cloudy

Approx. Temp.: 54° F
 Approx. Temp.: 59° F
 Approx. Temp.: 65° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	X	NA	NA	/										Demolition work is complete. Balcony column pedestals have been poured as per drawings and specification.
B	X	NA	NA	/										Demolition work is complete. Strapping is required to extend from studs past top plate and onto trusses. Contractor will add blocking as required for proper nailing to truss as per drawings (Photograph #10).
C	X	NA	NA	/										Demolition work is complete. Several straps have been installed without nailing all nail holes as required. Contractor will make corrections prior to re - inspection by Delta (Photograph #9).
D														
E		NA	NA											
F		NA	NA											
G		NA	NA											
H	X			/										Extensive repairs of subfloors, and wall studs are in progress as per drawings and specifications(Photograph #11).

ACTION REQUIRED BY CONTRACTOR:

- Determine location each required mock-up (framing & strapping, sheathing, Tyvek, stucco, window & window flashing, sealant, joints, and painting).
- Strapping is required to extend from studs past top plate and onto trusses. Contractor will add blocking as required for proper nailing to truss as per drawings (Photograph #1).
- Several straps have been installed without nailing all nail holes as required. Contractor will make corrections prior to re - inspection by Delta (Photograph #9).

PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:

ACTION REQUIRED BY OWNER:

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

ACTION REQUIRED BY ENGINEER:

- Note

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:

Date: 12-17-18

PHOTOGRAPHS

PHOTOGRAPH #1



**BUILDING 14
ELEVATION F**

Several new accessories at window heads do not have weep holes as required by project manual and drawings. Contractor will add weep holes as required.

PHOTOGRAPH #2



**BUILDING 14
ELEVATION D**

Flashing at balcony has been repositioned and will require stucco accessories, lath and new stucco as per specifications.

PHOTOGRAPH #3



**BUILDING 14
ELEVATION A**

Flashing at balcony has been re-positioned and will require re-placing stucco accessories, lath and new stucco as per specifications.

PHOTOGRAPH #4



**BUILDING 14
ELEVATION C**

Contractor has applied Tyvek flashing and installed new vents as per drawings and specifications.

PHOTOGRAPH #5



**BUILDING 14
ELEVATION C**

Contractor has not completed flashing requirements at hose bib penetration as required.

PHOTOGRAPH #6



**BUILDING 14
ELEVATION A**

Contractor is not cleaning the site daily as required by Project Manual.

PHOTOGRAPH #7



**BUILDING 14
ELEVATION C**

Contractor is not cleaning the site daily as required by Project Manual.

PHOTOGRAPH #8



BUILDING 4

Contractor has performed sealant work as per Change Order # 6 at the bottom edge of weep screed to the foundation. Delta began inspection and discontinued after marking several missed locations.

PHOTOGRAPH #9



**BUILDING 25
ELEVATION C**

Several straps have been installed without nailing all nail holes as required. Contractor will make corrections prior to re – inspection by Delta.

PHOTOGRAPH #10



**BUILDING 25
ELEVATION B**

Strapping is required to extend from studs past top plate and onto trusses. Contractor will add blocking as required for proper nailing to truss as per drawings.

PHOTOGRAPH #11



**BUILDING 25
ELEVATION H**

Extensive repairs of subfloors, and wall studs are in progress as per drawings and specifications.

