



# ON THE RANCH NEWSLETTER – NOVEMBER 23, 2018

[WWW.PALMERRANCH.NET](http://www.PALMERRANCH.NET)

---

## WINTER ANNUALS

This coming week, soils will be modified at each of the Palmer Ranch entrances in preparation for the installation of the winter annuals. The design features full beds of Red Patriot Geraniums. Planting the annuals in late November/early December allows the plants to “harden in” before the colder weather arrives.



## ***News You Can Use***



### COYOTE SIGHTINGS ON PALMER RANCH

We've been notified of recent Coyote sightings throughout Palmer Ranch. Please make certain to be mindful of where you're walking and to always have your dogs on a leash.

NOTICE OF NEIGHBORHOOD WORKSHOP – [SEE ATTACHED](#)

SARASOTA COUNTY NOTICES OF PUBLIC HEARINGS – [SEE ATTACHED](#)

## ***On The Grounds***

### CANARY ISLAND DATE PALMS (PHOENIX CANARIENSIS)

In spite of its tropical look and its propensity for a sunny location, the Canary Island Date Palm is one of the best cold hardy palms. This native of North Africa and the Canary Islands has a gray-brown stout trunk that is topped with a huge crown of stiff large dark green leaves. The arching feather-like fronds have stems that sport 2-3 inch sharp spines. It is not a self-cleaning palm, so dead leaves need to be pruned to maintain its beautiful appearance. When pruned correctly, the bottom of the crown has a so-called nut that looks like a pineapple, hence it is sometimes called a Pineapple Palm. Ferns often germinate in the "pineapple" part as the trunk forms, adding to the ornamental look.



Location: *Honore Avenue*



# ON THE RANCH NEWSLETTER – NOVEMBER 23, 2018

[www.PALMERRANCH.NET](http://www.PALMERRANCH.NET)

## **PALMER RANCH STRATEGIC PLANNING SURVEY IS LIVE ON OUR WEBSITE!**

Palmer Ranch has launched a new member survey! Its purpose – strategic planning for Palmer Ranch. Your participation is vital in getting us to get the information we seek!!

To access the survey, please visit our website [www.palmerranch.net](http://www.palmerranch.net), click the link provided on the homepage, as shown below. The questions will be easy to answer, taking less than 3 minutes to complete. The survey will be available for 90 days. Once complete, the results will be posted in our weekly newsletter, and on our website. **We thank you – in advance – for your participation!**

Welcome To The Official Website Of The  
Palmer Ranch Master Association

Palmer Ranch of Sarasota, FL is a community of over 90 subdivisions, apartment communities and assisted-living facilities, and encompasses numerous commercial, recreational and religious organizations. Located south of Clark Rd, and covering approximately 60 square miles between the I-75 and Tamiami Trail, Palmer Ranch is called home by over 20,000 residents.

The community of Palmer Ranch presents residents with a wide range of lifestyle choices, from maintenance-free villas and condominiums to beautiful single family homes. All located just minutes from the county's renowned beaches, cultural, business and civic centers.

**NATURAL ASSETS**

Click to learn about managing natural resources in Palmer Ranch

Palmer Ranch Member Strategic Planning Survey  
click the following link  
<https://www.surveymonkey.com/r/PRstrategic>

**NEWS YOU CAN USE**

**Estoppel Requests**  
To request an estoppel from Palmer Ranch Master Association, please send fax or email to: Fax: (941) 922-1581 Email: [carrie@palmerranch.net](mailto:carrie@palmerranch.net)  
read more »

**Clearing work at NW corner of McIntosh & Palmer Ranch Parkway West**  
We've had a lot of questions about the clearing work at NW corner of McIntosh & Palmer Ranch Parkway West.....  
read more »

Palmer Ranch Community Center

Sign Up For Our Newsletter

Do you want to hear about the news on Palmer Ranch first hand? If so, simply visit our website: [www.PalmerRanch.net](http://www.PalmerRanch.net). At the bottom of the home page, simply click on 'Sign Up For Our Newsletter.' You'll then be asked to provide your email address and first name. It's that easy!

## Palmer Ranch Master Association – Mission Statement

*'Our mission is to enhance and maintain the aesthetic quality of Palmer Ranch and to preserve the overall unique identity and sense of community.'*

November 16, 2018

Neighborhood Workshop for:

Sarasota Sports Club / Villas at the Country Club of Sarasota  
3600 Torrey Pines Blvd  
Sarasota, FL 34238

Date: November 27, 2018  
Time: 6:00pm  
Place: Sarasota Sports Club Clubhouse – Main Floor  
3600 Torrey Pines Blvd.  
Sarasota, FL 34238

GAP Engineering & Planning, LLC will be conducting a Neighborhood Workshop to discuss the proposed Rezone of the Sarasota Sports Club property from the existing RE2/PUD zoning to RSF4/PUD zoning.

The proposed Rezone will facilitate the development of 34 Single Family residential units on a portion of the 11.3 acre property, and will reconfigure the remainder portion of the property into a reduced size sports and tennis facility. Enclosed, please find a copy of the Concept Plan.

The purpose of the meeting is to inform neighboring residents of the nature of the proposal, to discuss the proposed concept plan and to seek input and comments.

If you have any questions you are welcome to contact our office by telephone.

Cordially,  
GAP Engineering & Planning, LLC

# VILLAS AT THE COUNTRY CLUB OF SARASOTA / SARASOTA SPORTS CLUB

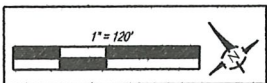
**LEGEND:**

- VILLAS AT THE COUNTRY CLUB OF SARASOTA
- SARASOTA SPORTS CLUB
- TPC CART PATH
- (POSSIBLE) PEDESTRIAN EASEMENT

TPC  
PRESETANCIA  
GOLF COURSE



THIS PLAN WILL BE BINDING UPON  
FINAL ACTION OF THE BOARD OF  
COUNTY COMMISSIONERS



VILLAS AT THE COUNTRY CLUB OF SARASOTA / SARASOTA SPORTS CLUB

DATA SHEET

	REQ. / MAX / MIN	PROPOSED
GROSS ACREAGE		7.00 AC.
NUMBER OF LOTS / UNITS	34 UNITS	34
DENSITY	4.99 UNITS/AC.	4.85
OPEN SPACE	30%	3.31 AC. (47.3%) *
NON-RESIDENTIAL BUILDING AREA	N/A	N/A
IMPERVIOUS AREA	N/A	3.69 AC. (52.7%) *
REQUIRED AND ADDITIONAL PARKING	68	68 (GARAGE)
EXISTING / PROPOSED ZONING	RE-2/PUD	RSF-4/PUD
EXISTING / PROPOSED USES	TENNIS CLUB	RESIDENTIAL/TENNIS CLUB (COURTS ONLY)

\* BEST ESTIMATE AT THIS TIME

---

**Sarasota County wants your input!**

**NOTICE OF PUBLIC HEARING  
ON AMENDING  
SARASOTA COUNTY'S  
LAND DEVELOPMENT  
AND ZONING REGULATIONS  
TO ESTABLISH A  
UNIFIED DEVELOPMENT CODE**

Date: **November 27, 2018**

Time: **1:30 p.m., or as soon thereafter as possible**

Place: **Sarasota County Administration Center, County Commission Chamber, 1660 Ringling Blvd., Sarasota, Florida**

The Sarasota County Commission (Board) will hold a second public hearing on the proposed Unified Development Code (UDC) that combines and updates the Land Development Regulations (Ch. 74 of the County Code of Ordinances) and Zoning Regulations (Appendix A of the County Code of Ordinances), which control development in Sarasota County.

Sarasota County is committed to keeping the public involved and up-to-date throughout this process. A [UDC Project web page](#) has been established for this purpose at [www.scgov.net](http://www.scgov.net) (Keywords: 'UDC Project'). The proposed UDC is subject to the full public hearing process and has been presented to various groups, advisory committees, and the Planning Commission.

Sarasota County staff have been working with the consulting firm of Calvin, Giordano & Associates (CGA) to create the UDC. Phase I of this 3 phased effort began in March of 2017 with a discovery process conducted by CGA that involved discussions with various representatives of the community, public review bodies, and county staff. Phase II engaged the community through 3 public workshops in September, October, and November of last year. Phase III commenced with the full public hearing review process which included 4 public hearings by the Planning Commission, the Board conducting a first public hearing on October 23, 2018, and concludes with the Board potentially taking action on a final version of the proposed UDC at this second public hearing on November 27, 2018.

CGA has prepared the Final Draft of the proposed UDC based on the input received from the Planning Commission public hearings, and it is available for public review on the [UDC Project web page](#). The UDC will continue to evolve as it makes its way through the review process, including more refined editing. Any comments on the Final Draft should be submitted to the County so that CGA can address them to the Board at public hearing.

You may provide your comments by submitting them on the UDC Project web page or directly to the Planning and Development Services Department at [planner@scgov.net](mailto:planner@scgov.net).

Input received will be addressed by the consultant as the UDC Project moves forward.

Sarasota County prohibits discrimination in all services, programs or activities on the basis of race, color, national origin, age, disability, sex, marital status, familial status, religion, or genetic information. Persons with disabilities who require assistance or alternative means for communication of program information (Braille, large print, audiotape, etc.), or who wish to file a complaint, should contact Sarasota County ADA/Civil Rights Coordinator, 1660 Ringling Blvd., Sarasota, Florida 34236, Phone: 941-861-5000; TTY 7-1-1 or 1-800-955-8771, E-mail: [adacoordinator@scgov.net](mailto:adacoordinator@scgov.net).

**Thank you for your time and interest in this effort!**

**We appreciate your feedback!**

# Notice of Public Hearings

Sarasota County Planning and Development Services wants you to know that the property owner of the Palmer Ranch Development of Regional Impact (DRI) has applied for: 1) Application for Incremental Development Approval (AIDA) XXVIII to delineate approximately 288 acres, Parcel 6A, as Increment XXVIII within the Palmer Ranch DRI; and 2) Rezone Petition No. 18-07 to rezone approximately 281 acres, Parcel 6A, from OUE-1 (Open Use, Estate, 1 unit/5 acres) to RSF-1/PUD (Residential, Single-Family, 2.5 units/acre/Planned Unit Development) zone district to allow for development of 500 single family residential homes.

The Sarasota County Commission will hold public hearings beginning at 9:00 a.m., or as soon thereafter as possible, on November 28, 2018, at the County Administration Center, Commission Chamber, 1660 Ringling Blvd., Sarasota.

You are invited to appear, be heard, and submit relevant evidence. A complete draft of the proposed ordinances are available during normal business hours in the Planning and Development Services Department at 1660 Ringling Blvd., Sarasota, Florida. Supporting documents will be available the Thursday prior to the public hearings at [www.scgov.net](http://www.scgov.net), Meetings and Agendas (Meetings on Demand) to view or download.

You are invited to comment on the request by attending the public hearings or submitting your written comments to:

Planning and Development Services Department  
1660 Ringling Blvd.  
Sarasota, FL 34236  
[planner@scgov.net](mailto:planner@scgov.net)  
941-861-5000, TTY 7-1-1 or 1-800-955-8771

Palmer Ranch  
AIDA XXVIII  
RZ 18-07

