



HEADQUARTERS
 10405 TECHNOLOGY TERRACE
 LAKEWOOD RANCH, FL 34211
 PH: 941-727-2600 FX: 941-758-5012
 www.delta-engineers.com

COPY DISTRIBUTION:
 Owner
 Contractor
 Architect / Engineer
 Building Department

FIELD OBSERVATION REPORT - Bldg #14

Permit No. 18-131555-00 BC
 Owner: Vintage Grand Condo Assn, Inc.
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc
 Inspector (s): Mike Jones
 Type of Assessment: Progress

Project: R1503-302D
 Contact: Glenn Ateili
 Phone/Fax: (941) 923-7380
 Contact: Craig Nicholas / Robert Brancombe
 Phone: (941)232-6486 / (239) 379-1978

LEGEND:
 X: Complete
 /: In Progress

Date: 11/20/18 Time: 10:00 AM Weather: Partly Cloudy Approx. Temp.: 77° F
 Date: Time: Weather: Approx. Temp.:
 Date: Time: Weather: Approx. Temp.:

| Elevation | Demo | Gable Bracing | Gable Vents | Framing & strapping | Sheathing | Soffit | Window flashing | Window Install | Stucco Lath Acc | Stucco | Sealant | Painting | Punch | Comments |
|-----------|------|---------------|-------------|---------------------|-----------|--------|-----------------|----------------|-----------------|--------|---------|----------|-------|--|
| A | X | NA | NA | X | X | | / | / | / | | | | | |
| B | X | NA | NA | X | X | | | / | / | | | | | |
| C | X | | | X | | | | | | | | | | |
| D | X | NA | NA | X | X | / | X | X | / | | | | | Control joint flanges to be secured at no more than 7" intervals per ASTM C1063. Contractor to provide additional fasteners at elevations 'D & E'. (Photographs #1). Contractor to secure soffit vent to plywood. Contractor to provide additional fasteners at elevations 'D & E'. (Photograph #2). |
| E | X | NA | NA | X | X | / | X | X | / | | | | | Soffit trim not installed in a matching fashion. Contractor to reinstall soffit trim to match at butt joint. (Photograph #3). Kick-out flashing above existing roof shingles. Contractor to remove and reinstall per contractor drawing. (Photograph #4). Dryer vents in wall will require extension and flashing details per specifications prior to stucco system application. (Photograph #5) complete weather barrier & lath install per drawings and specifications. (Photograph #6). |
| F | X | | | / | / | | X | X | / | | | | | |

ACTION REQUIRED BY CONTRACTOR:

- Determine location each required mock-up (framing & strapping, sheathing, Tyvek, stucco, window & window flashing, sealant joints, and painting).
- Control joint flanges to be secured at no more than 7" intervals per ASTM C1063. Contractor to provide additional fasteners at elevations 'D & E'. (Photographs #1)
- Contractor to secure soffit vent to plywood. Contractor to provide additional fasteners at elevations 'D & E'. (Photograph #2).
- Soffit trim not installed in a matching fashion. Contractor to reinstall soffit trim to match at butt joint. (Photograph #3).
- Kick-out flashing above existing roof shingles. Contractor to remove and reinstall per contractor drawing. (Photograph #4).
- Dryer vents in wall will require extension and flashing details per specifications prior to stucco system application. (Photograph #5)
- Contractor to complete weather barrier & lath install per drawings and specifications. (Photograph #6).
- Contractor to remove construction debris daily. Construction safety barriers to remain in place until completion of this project. (Photograph #7).
- Gutters and downspout to be stored inside designated construction area. (Photograph #8).

PREVIOUSLY NOTED ACTION REQUIRED BY CONTRACTOR:

- SIKALASTIC ROOF PRO applied at base of sheathing transition to foundation as per ESI #1 has not been installed or corrected according to manufactures requirements.
- Repair damaged pedestal at section A where chipped.
- Stucco weep screed has been installed incorrectly at base of sheathing section F. Bottom edge of accessory is required to be 1" below edge of existing concrete slab. Contractor will remove and replace as required.

ACTION REQUIRED BY OWNER:

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

ACTION REQUIRED BY ENGINEER:

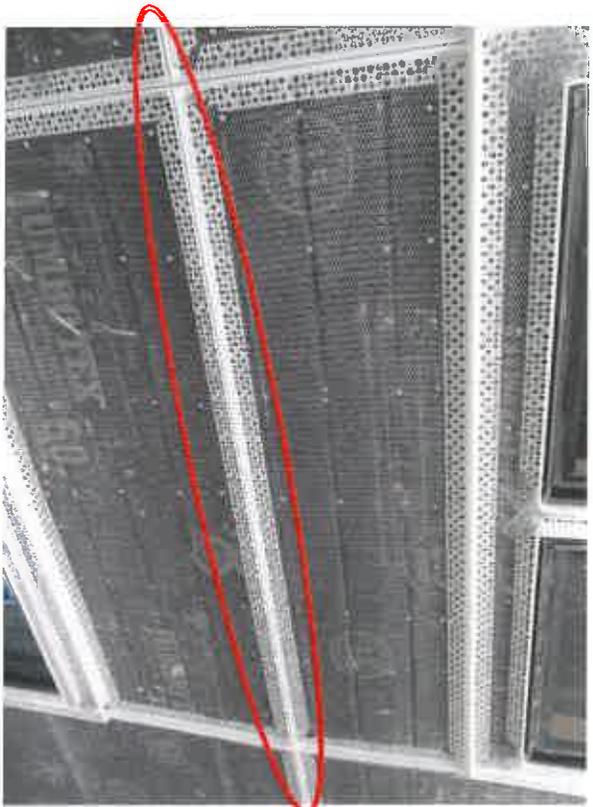
- None

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:  Date: 11-26-18

PHOTOGRAPHS

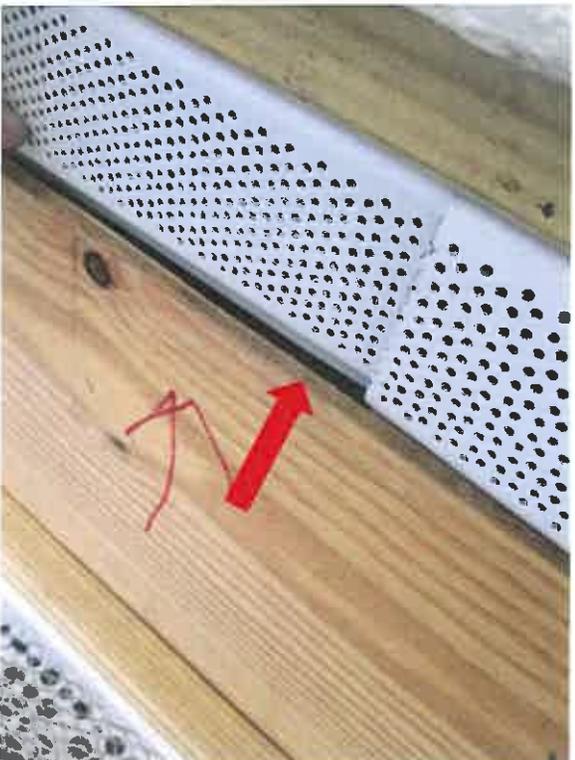
PHOTOGRAPH #1



**BUILDING 14
ELEVATION D & E**

Control joint flanges to be secured at no more than 7" intervals per ASTM C1063. Contractor to provide additional fasteners at elevations 'D & E'.

PHOTOGRAPH #2



**BUILDING 14
ELEVATION D & E**

Contractor to secure soffit vent to plywood. Contractor to provide additional fasteners at elevations 'D & E'.

PHOTOGRAPH #3



**BUILDING 14
ELEVATION E**

Soffit trim not installed in a matching fashion. Contractor to reinstall soffit trim to match at butt joint.

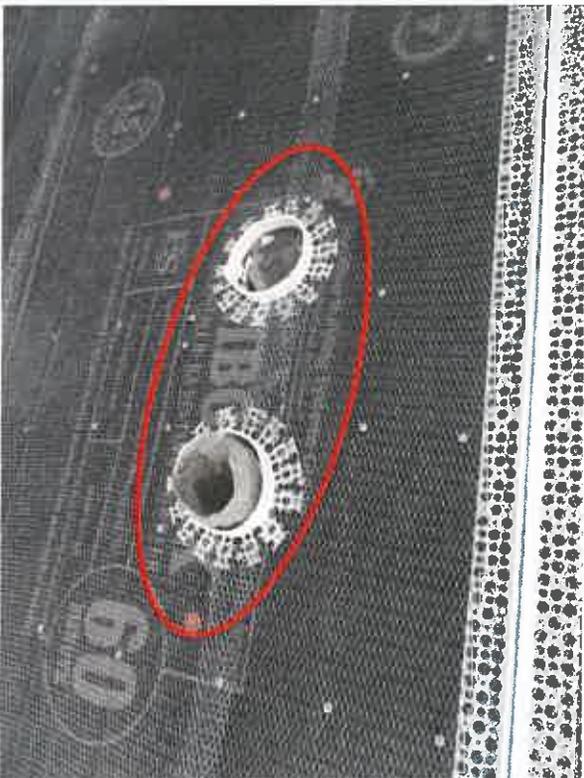
PHOTOGRAPH #4



**BUILDING 14
ELEVATION E**

Kick-out flashing above existing roof shingles. Contractor to remove and reinstall per contractor drawing.

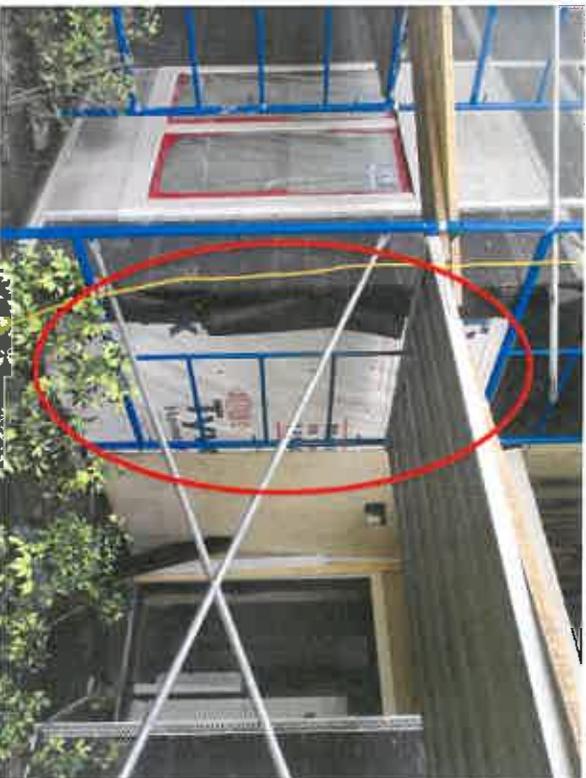
PHOTOGRAPH #5



**BUILDING 14
ELEVATION E**

Dryer vents in wall will require extension and flashing details per specifications prior to stucco system application.

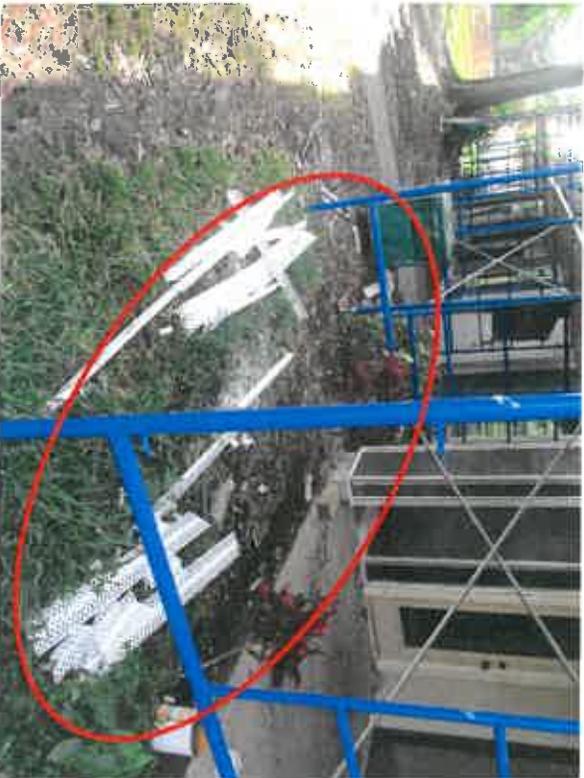
PHOTOGRAPH #6



**BUILDING 14
ELEVATION E**

Contractor to complete weather barrier & lath install per drawings and specifications.

PHOTOGRAPH #7



**BUILDING 14
ELEVATION E**

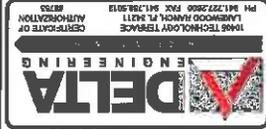
Contractor to remove construction debris daily. Construction safety barriers to remain in place until completion of this project.

PHOTOGRAPH #8



**BUILDING 14
ELEVATION E**

Gutters and downspout to be stored inside designated construction area.



TO THE BEST OF THE ENGINEERS' KNOWLEDGE, THESE PLANS AND SPECIFICATIONS CONFORM WITH THE 2017 FLORIDA BUILDING CODE AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN CHAPTER 633, FLORIDA STATUTES. THIS DRAWING AND DESIGN IS VALID FOR A PERIOD OF 1 YEAR AFTER THE DATE IT IS SIGNED OR UNTIL A NEWER VERSION OF THE BUILDING CODE, HAVING JURISDICTION, IS ADOPTED, WHICH EVER OCCURS FIRST.

COPYRIGHT NOTICE: DELTA ENGINEERING & INSPECTION RESERVES ITS COMMON LAW AND OTHER COPYRIGHTS IN THESE PLANS, IDEAS AND DESIGNS. THESE PLANS ARE NOT TO BE COPIED OR CHANGED IN ANY MANNER, NOR ARE THEY TO BE ASSIGNED TO ANY OTHER PARTY WITHOUT FIRST OBTAINING WRITTEN PERMISSION. ©2014 DELTA ENGINEERING & INSPECTION, INC.

DRAWING TITLE:
BUILDING #14 FLOOR PLAN - TYPE 1

PROJECT NAME:
 WOOD FRAME REPAIRS & RELATED WORK
 VINTAGE GRANDE CONDOMINIUM
 ASSOCIATION, INC.
 4012 CROOKERS LAKE BLVD.,
 SARASOTA, FL 34238

SEAL:
 STEVEN J. MANNARD, P.E.
 #55583

DELTA JOB #: R1503-302D
DRAWN BY: M.P.J.
CHECKED BY: C.M.D.
APPROVED BY: S.L.M.
DATE: 08/07/18

ISSUE DATES & REVISIONS
 PERMIT SET 05-07-18

SHEET S-1.0A

■ DENOTES AREA OF WORK

1 BUILDING #14 FLOOR PLAN - TYPE 5
 SCALE: N.T.S. S-1.0A

