



**HEADQUARTERS**  
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 LAKEWOOD RANCH, FL 34211  
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**COPY DISTRIBUTION:**  
 Owner   
 Contractor   
 Architect / Engineer   
 Building Department

**LEGEND:**  
 X: Complete  
 /: In Progress

**FIELD OBSERVATION REPORT - Bids #14**

Permit No. 18-131555-00 BC  
 Owner: Vintage Grand Condo Assn, Inc.  
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL  
 Contractor: RL James Inc  
 Inspector (s): Mark Boss / Steve Mainardi  
 Type of Assessment: Progress

Project: R1503-302D  
 Contact: Glenn Aielli  
 Phone/Fac: (841) 923-7380  
 Contact: Craig Nicholas / Robert Branscombe  
 Phone: (941)232-6466 / (239) 378-1978

Date: 10/30/18 Time: 7:30 AM  
 Date: 10/31/18 Time: 1:45 PM  
 Date: 11/02/18 Time: 8:25 AM

Weather: Sunny  
 Weather: Sunny  
 Weather: Mostly Cloudy

Approx. Temp.: 65° F  
 Approx. Temp.: 76° F  
 Approx. Temp.: 72° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & Strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A	/	NA	NA	/	/	/	X	X	/	/	/	/	/	Contractor has installed pedestals at balcony columns as per drawings and specifications (Photograph #5). Contractor will be required to disconnect and reconnect plumbing in this condition in order to perform repairs at framing as required. Contractor will coordinate with property manager (Photograph #7).
B	/	NA	NA	/	/	/	X	X	/	/	/	/	/	
C	/	NA	NA	/	/	/	X	X	/	/	/	/	/	
D	X	NA	NA	X	X	/	X	X	/	/	/	/	/	Stucco sub-contractor has begun accessories and lath installation as per approved mock ups (Photograph #9). Contractor has begun replacing soffit and soffit screen as per specifications (Photograph #10). Stucco accessories and lath mock ups in review. 2" X 4" metal lath butterfly tied at each corner has been installed and approved as per specification and drawings (Photographs #1). Window at unit #1412 space between window head flashing and stucco band accessory is to wide and is required to be 3/4" as per drawings (Photograph #2). Window at unit #1422 space between window head flashing and stucco band accessory is correct and approved as required to be 3/4" as per drawings (Photograph #3). At balcony column flashing transition with stucco accessories, a mockup will be provided and approved to accomplish proper diversion of water and waterproofing seal at this transition (Photograph #4).
E	X	NA	NA	X	X	/	X	X	/	/	/	/	/	Contractor has begun repairs to interior drywall and will be required to retexture to match existing as close as possible (Photograph #8).
F	/	NA	NA	/	/	/	X	X	/	/	/	/	/	

**ACTION REQUIRED BY CONTRACTOR:**

- Determine location each required mock-up (framing & strapping, sheathing, Tyvek, stucco, window & window flashing, sealant, joints, and painting).
- SIKALASTIC ROOF PRO applied at base of sheathing transition to foundation as per ESI #1 has not been installed or corrected according to manufactures requirements.
- Windows installed with new head flashing as per drawings and specification will require sealants at flashing to window prior to stucco details.
- Dryer vents in wall will require extension and flashing details per specifications prior to stucco system application.
- Repair damaged pedestal at elevation A where clipped (Photograph #6).

**ACTION REQUIRED BY OWNER:**

- Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.
- Client to select and approve change order pricing provided by RLJ for sealing bottom edge detail addressed in ESI #1 and alternates.

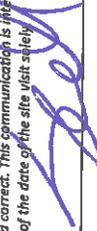
**ACTION REQUIRED BY ENGINEER:**

1. None

**GENERAL COMMENTS:**

- Contractor has begun repairs to interior drywall and will be required to retexture to match existing as close as possible.
- Contractor has begun replacing soffit and soffit screen as per specifications.
- Stucco sub-contractor has begun accessories and lath installation as per approved mock ups.

Based on the site observations conducted, this firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.



### PHOTOGRAPHS

PHOTOGRAPH #1



#### BUILDING 14 ELEVATION E

Stucco accessories and lath mock ups in review. 2" X 4" metal lath butterfly tied at each corner has been installed and approved as per specification and drawings.

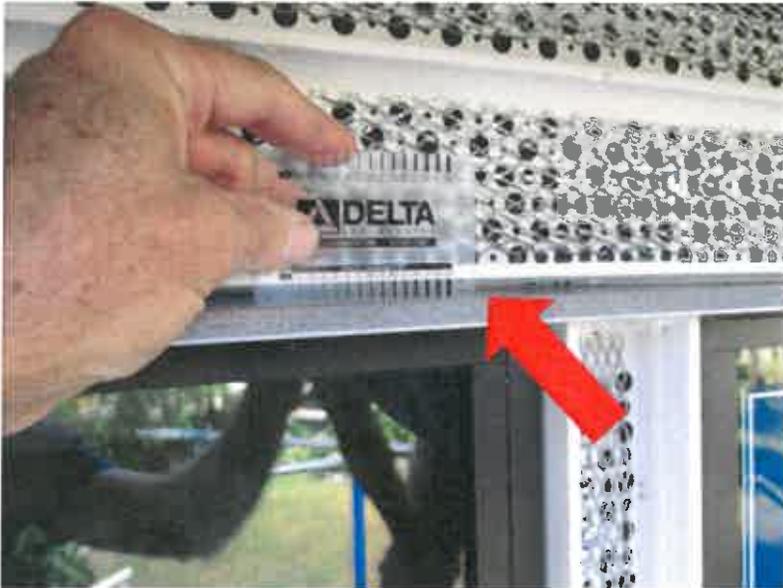
PHOTOGRAPH #2



#### BUILDING 14 ELEVATION E

Stucco accessories and lath mock ups in review. Window at unit #1412 space between window head flashing and stucco band accessory is too wide and is required to be 1/4" as per drawings.

**PHOTOGRAPH #3**



**BUILDING 14  
ELEVATION E**

Stucco accessories and lath mock ups in review. Window at unit #1422 space between window head flashing and stucco band accessory is correct and approved as required to be 1/4" as per drawings.

**PHOTOGRAPH #4**



**BUILDING 14  
ELEVATION E**

Stucco accessories and lath mock ups in review. At balcony column flashing transition with stucco accessories, a mockup will be provided and approved to accomplish proper diversion of water and waterproofing seal at this transition.

**PHOTOGRAPH #5**



**BUILDING 14  
ELEVATION A**

Contractor has installed pedestals at balcony columns as per drawings and specifications.

**PHOTOGRAPH #6**



**BUILDING 14  
ELEVATION A**

This pedestal will require patching where damaged at edge during frame repairs.

**PHOTOGRAPH #7**



**BUILDING 14  
ELEVATION A**

Contractor will be required to disconnect and reconnect plumbing in this condition in order to perform repairs at framing as required. Contractor will coordinate with property manager.

**PHOTOGRAPH #8**



**BUILDING 14  
ELEVATION F – UNIT #1422**

Contractor has begun repairs to interior drywall and will be required to retexture to match existing as closed as possible.

**PHOTOGRAPH #9**



**BUILDING 14  
ELEVATION D & E**

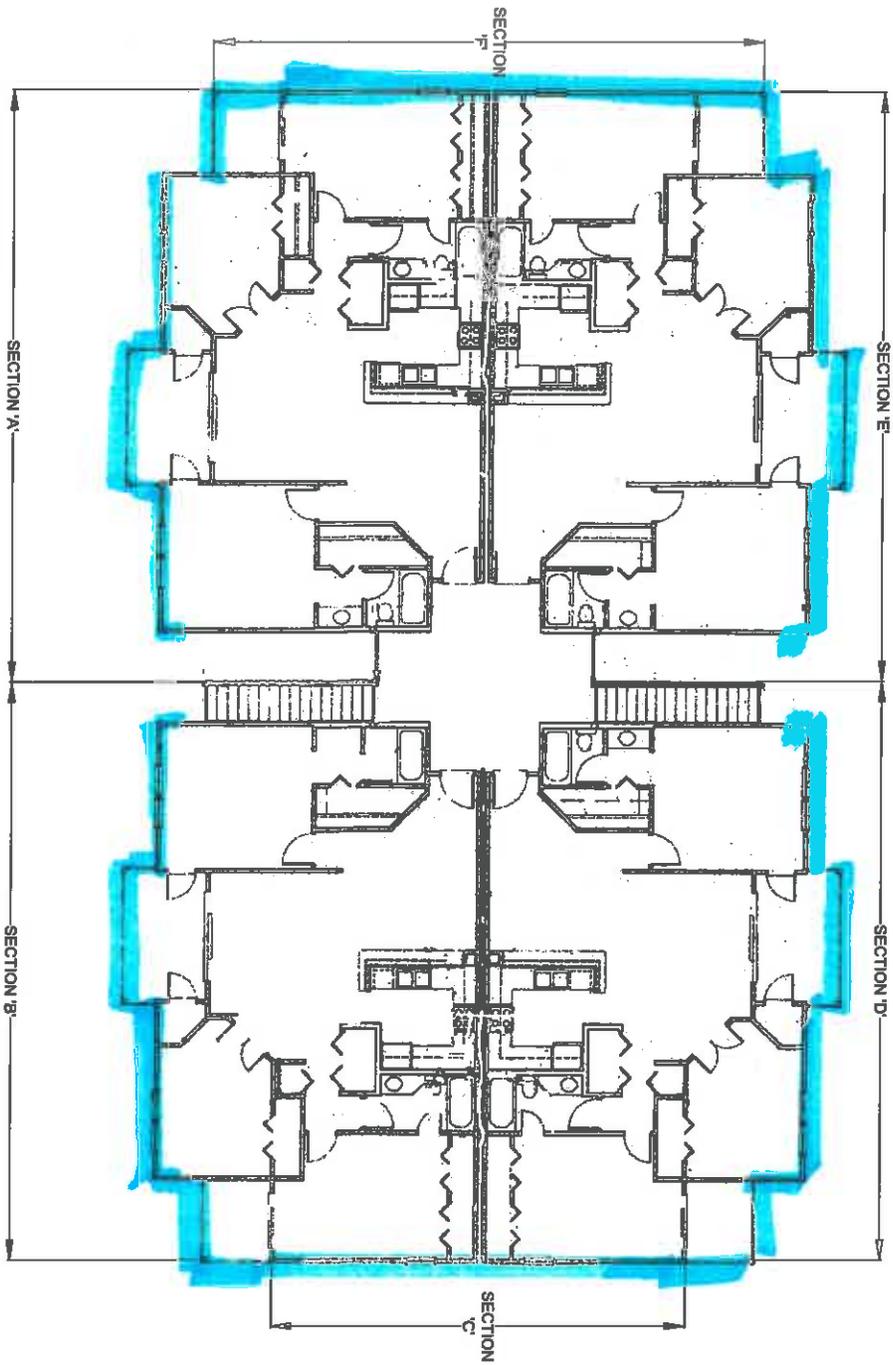
Stucco sub-contractor has begun accessories and lath installation as per approved mock ups.

**PHOTOGRAPH #10**



**BUILDING 14  
ELEVATION D & E**

Contractor has begun replacing soffit and soffit screen as per specifications.



**1** BUILDING #14 FLOOR PLAN - TYPE 5  
 S-1.0A SCALE: N.T.S.



DENOTES AREA OF WORK

**DELTA**  
 ENGINEERING  
 1000 WOODBURN TERRACE  
 LAKESWOOD BLVD. #100  
 SARASOTA, FL 34238  
 PHONE: 941.552.2200 FAX: 941.552.2202  
 CERTIFICATE OF  
 AUTHORIZATION  
 #0018

TO THE BEST OF THE ENGINEER'S KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH CHAPTER 553 AND CHAPTER 625, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A PERIOD OF 1 YEAR AFTER THE DATE IT IS SIGNED OR UNTIL A NEWER VERSION OF THE BUILDING CODE, HAVING JURISDICTION, IS ADOPTED, WHICH EVER OCCURS FIRST.

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**DRAWING TITLE:**  
 BUILDING #14 FLOOR PLAN - TYPE 1

**PROJECT NAME:**  
 WOOD FRAME REPAIRS & RELATED WORK (PHASE II)  
 VINTAGE GRANDE CONDOMINIUM ASSOCIATION, INC.  
 4012 CROCKERS LAKE BLVD., SARASOTA, FL 34238

**SEAL:**  
 STEVEN J. MAINARDI, P.E.  
 #56563

DELTA JOB # R1603-302D  
 DRAWN BY: M.P.J.  
 CHECKED BY: C.M.D.  
 APPROVED BY: S.J.M.  
 DATE: 05/07/18

**ISSUE DATES & REVISIONS**  
 PERMIT SET 05-07-18  
 SHEET **S-1.0A**