



HEADQUARTERS
10405 TECHNOLOGY TERRACE
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 Owner
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FIELD OBSERVATION REPORT - Bldg #14

Permit No. 18-131555-00 DC
 Owner: Vinager Grand Centro Assn, Inc.
 Project Address: 4017 Crookers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc.
 Inspector (s): Mark Boss / Mike James
 Type of Assessment: Progress

Project: R1603-302D
 Contact: Glenn Asbill
 Phone/Fax: (941) 923-7390
 Contact: Craig Nicholas / Robert Barncombe
 Phone: (941) 232-6486 / (239) 379-1978

Date: 10/02/18 Time: 12:30 AM
 Date: 10/05/18 Time: 10:00AM

Weather: Scattered Showers
 Weather: Partly Cloudy

Approx. Temp.: 88° F
 Approx. Temp.: 82° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & Strapping	Sheathing	Softie	Window Flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A		NA	NA											
B		NA	NA											
C														
D	X	NA	NA	X	X		/	/						SIKALASTIC ROOF PRO waterproofing system applied at base of sheathing transition to foundation as per ESI # 1. Voids in REEMAT mesh will require correction. (Photographs #6 and #7).
E	X	NA	NA	X	X		/	/						SIKALASTIC ROOF PRO waterproofing system applied at base of sheathing transition to foundation as per ESI # 1. Voids in REEMAT mesh will require correction. (Photographs #6 and #7). As defined by OSHA, scaffolding must be designed by qualified person. Erection, dismantling, moving or altering must be supervised by competent person. The access ladder is not correct or the rail in place at wallboards between platforms. Contractor will make corrections as per OSHA regulations (Photograph #11)
F	/													

ACTION REQUIRED BY CONTRACTOR:

1. Provide Affidavit stating scaffolding meet OSHA requirements.
2. Determine location each required mock-up (framing & strapping, sheathing, Tyvek, stucco, window & window flashing, sealant, joints, and painting).
3. Provide remaining submittals. Special weather barrier manufacturer warranty still outstanding.
4. SIKALASTIC ROOF PRO waterproofing system applied at base of sheathing transition to foundation as per ESI # 1. Voids in REEMAT mesh will require correction.
5. As defined by OSHA, scaffolding must be designed by qualified person. Erection, dismantling, moving or altering must be supervised by competent person. The access ladder is not correct or the rail in place at wallboards between platforms. Contractor will make corrections as per OSHA regulations.

ACTION REQUIRED BY OWNER:

1. Roof tiles at corner have come loose causing a leak and rot on roof sheathing below. Contractor will make repair to sheathing after owners roofing contractor has repaired leak.
2. Repgrade scals around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

ACTION REQUIRED BY ENGINEER:

- GENERAL COMMENTS:**
1. Framing, insulation and sheathing inspections have been performed by Delta for inspection by affidavit at bearing walls and balconies with lower sections and breezeways remaining incomplete (Photographs #1, #2 and #3).
 2. Type C18 balcony re framing and strapping as per drawings and specifications (Photograph #4).
 3. SIKALASTIC ROOF PRO waterproofing system applied at base of sheathing transition to foundation as per ESI # 1 (Photographs #5, #6 and #7).
 4. Head flashing replaced with correct dimension flashing at Unit #1412-bedroom window (Photograph #8).
 5. Drier vents in wall will require extension and flashing details per specifications prior to stucco system application (Photograph #9).
 6. Contractor has flashed window openings in preparation for window installation per drawings and Tyvek installation instructions (Photograph #10).

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:  Date: 10-17-18

ENGINEER

PR MANAGERS
 Certificate of Authorization No. 0008753

INSPECTORS

PHOTOGRAPHS

PHOTOGRAPH #1



BUILDING 14 ELEVATION E

Framing, insulation and sheathing inspections have been performed by Delta for Inspection by affidavit at bearing walls and balconies with lower sections and breezeways remaining incomplete.

PHOTOGRAPH #2



BUILDING 14 ELEVATION D

Framing, insulation and sheathing inspections have been performed by Delta for Inspection by affidavit at bearing walls and balconies with lower sections and breezeways remaining incomplete.

PHOTOGRAPH #3



**BUILDING 14
ELEVATION D**

Framing, insulation and sheathing inspections have been performed by Delta for Inspection by affidavit at bearing walls and balconies with lower sections and breezeways remaining incomplete.

PHOTOGRAPH #4



**BUILDING 14
ELEVATION D**

Type C1B balcony re framing and strapping as per drawings and specifications.

PHOTOGRAPH #5



**BUILDING 14
ELEVATIONS D AND E**

SIKALASTIC ROOF PRO waterproofing system applied at base of sheathing transition to foundation as per ESI # 1.

PHOTOGRAPH #6



**BUILDING 14
ELEVATIONS D AND E**

SIKALASTIC ROOF PRO waterproofing system applied at base of sheathing transition to foundation as per ESI # 1. Voids in REEMAT mesh will require correction.

PHOTOGRAPH #7



**BUILDING 14
ELEVATIONS D AND E**

SIKALASTIC ROOF PRO waterproofing system applied at base of sheathing transition to foundation as per ESI # 1. Voids in REEMAT mesh will require correction.

PHOTOGRAPH #8



**BUILDING 14
ELEVATION E**

Head flashing replaced with correct dimension flashing at Unit #1412-bedroom window.

PHOTOGRAPH #9



**BUILDING 14
ELEVATION E**

Dryer vents in wall will require extension and flashing details per specifications prior to stucco system application.

PHOTOGRAPH #10



**BUILDING 14
ELEVATION D**

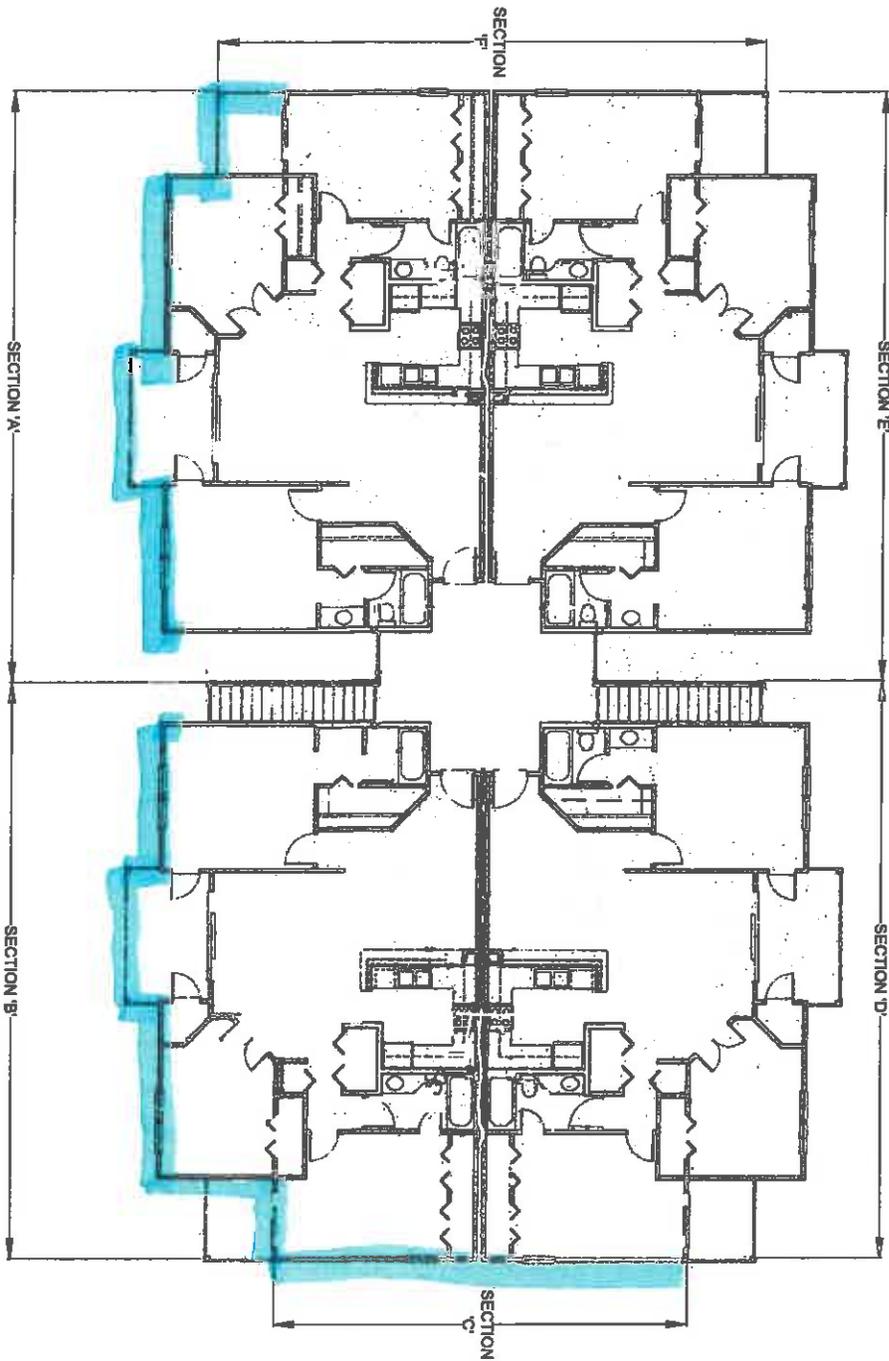
Contractor has flashed window openings in preparation for window installation per drawings and Tyvek installation instructions.

PHOTOGRAPH #11



**BUILDING 14
ELEVATION E**

As defined by OSHA, scaffolding must be designed by qualified person. Erection, dismantling, moving or altering must be supervised by competent person. The access ladder is not correct or the rail in place at wallboards between platforms. Contractor will make corrections as per OSHA regulations.



1 BUILDING #14 FLOOR PLAN - TYPE 5
S-1.0A SCALE: N.T.S.

 DENOTES AREA OF WORK

DELTA
ENGINEERING

1046 TECHNOLOGY TERRACE
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TO THE BEST OF THE ENGINEERS KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2017 FLORIDA BUILDING CODE AND THE APPLICABLE RESIDENTIAL STANDARDS AS DEVELOPED BY THE BOARD OF BUILDING REGULATIONS IN ACCORDANCE WITH CHAPTER 630 AND CHAPTER 633, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A PERIOD OF 1 YEAR AFTER THE DATE IT IS ISSUED. ANY CHANGES TO THE DESIGN OF THE BUILDING CODE, HAVING JURISDICTION, IS ADOPTED, WHICH EVER OCCURS FIRST.

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DRAWING TITLE:
BUILDING #14 FLOOR PLAN - TYPE 1

PROJECT NAME:
**WOOD FRAME REPAIRS & RELATED WORK (PHASE II)
VINTAGE GRANDE CONDOMINIUM ASSOCIATION, INC.
4012 CROCKERS LAKE BLVD., SARASOTA, FL 34238**

SEAL:

STEVEN J. MAINARDI, P.E.
#55583

DELTA JOB # R1503-302D
DRAWN BY: M.P.J.
CHECKED BY: C.M.D.
APPROVED BY: S.J.M.
DATE: 05/07/18

ISSUE DATES & REVISIONS
PERMIT SET 05-07-18

SHEET **S-1.0A**