



HEADQUARTERS
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FIELD OBSERVATION REPORT - Bldg #14

Permit No: 18-131555-00 BC
 Owner: Vintage Grand Condo Assn., Inc.
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc
 Inspector (s): Mark Boss / Mike Jones
 Type of Assessment: Progress

Project: R1803-302D
 Contact: Glenn Atall
 Phone/Fax: (941) 923-7380
 Contact: Craig Nicholas / Robert Branscombe
 Phone: (941) 232-6486 / (239) 379-1978

Date: 09/25/18 Time: 8:07 AM
 Date: 09/28/18 Time: 9:15 AM & 1:05:00 PM

Weather: Partly Cloudy
 Weather: Partly Cloudy

Approx. Temp.: 77° F
 Approx. Temp.: 90° F

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Soffit	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A		NA	NA											
B		NA	NA											
C														
D	/	NA	NA	X	/	/	/	/						
E	X	NA	NA	X	/	/	/	/						Flashing at head of window is not correct dimensions and will be replaced with proper dimensions / configuration per drawings and specifications (Photograph #2).
F	/													

ACTION REQUIRED BY CONTRACTOR:

1. Provide Affidavit stalling scaffolding meet OSHA requirements.
2. Determine location each required mock-up (framing & strapping, sheathing, Tyvek, stucco, window & window flashing, sealant joints, and painting).
3. Provide remaining submittals. Stucco Sample warranty is outstanding.
4. Replace flashing at header of Unit #1412 with correct dimensions and configuration as per drawings and specification as noted.

ACTION REQUIRED BY OWNER:

1. Roof tiles at corner have come loose causing a leak and rotten roof sheathing below. Contractor will make repair to sheathing after owners roofing contractor has repaired leak.
2. Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

ACTION REQUIRED BY ENGINEERS:

GENERAL COMMENTS:

1. Tyvek representative worked with contractor to complete flashing details at mock up (Photograph #1).
2. Unit #1412 - Certified 3rd party contractor set up test chamber for water testing and performed AAMA 502/ASTM E 1105 at the windows unit (Photograph #3 and #4).
3. Unit #1412 - At lower right corner of right side of window, a very small amount of moisture was detected after testing was complete and chamber removed. Remediation by contractor took place and windows passed re-testing with no leaks or failures (Photograph #5).
4. Elevation D - balcony type C1B - contractor has removed stucco for inspection by Delta. Built up beam and lower column is deteriorated. Collapse documented and marked for repairs (Photographs #6, #7, #8 and #9).
5. Contractor has completed straps, connectors and new framing at bearing wall sections and begun repairs at end balcony (Photograph #10).
6. Contractor has poured new pedestal as per drawing and specification for building new columns (Photograph #11).
7. Section F - Contractor has begun removal of stucco at designated areas for observation and documentation by Delta (Photograph #12).
8. Section F - Lower window Unit #1412 header deterioration and collapse observed and documented (Photograph #13).
9. Section F - Lower window Unit #1412 framing deterioration and collapse observed and documented (Photographs #14 and #15).

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:

Date: 10-2-18

PHOTOGRAPHS

PHOTOGRAPH #1



**BUILDING 14
WINDOW INSTALLATION MOCK-UP
UNIT #1412 GROUND LEVEL**

Tyvek representative worked with contractor to complete flashing details at mock up.

PHOTOGRAPH #2



**BUILDING 14
WINDOW INSTALLATION MOCK-UP
UNIT #1412 GROUND LEVEL**

Flashing at head of window is not correct dimensions and will be replaced with proper dimensions / configuration per drawings and specifications.

PHOTOGRAPH #3



**BUILDING 14
WATER TESTING
UNIT #1412 GROUND LEVEL**

Certified 3rd party contractor set up test chamber for water testing and performed AAMA 502/ASTM E 1105 at the two windows.

PHOTOGRAPH #4



**BUILDING 14
WATER TESTING
UNIT #1412 GROUND LEVEL**

Certified 3rd party contractor set up test chamber for water testing and performed AAMA 502/ASTM E 1105 at the two windows.

PHOTOGRAPH #5



**BUILDING 14
WATER TESTING
UNIT #1412 GROUND LEVEL**

At lower right corner of right window, a very small amount of moisture was detected after testing was complete and chamber removed. Remediation by contractor took place and windows passed re-testing with no leaks or failures.

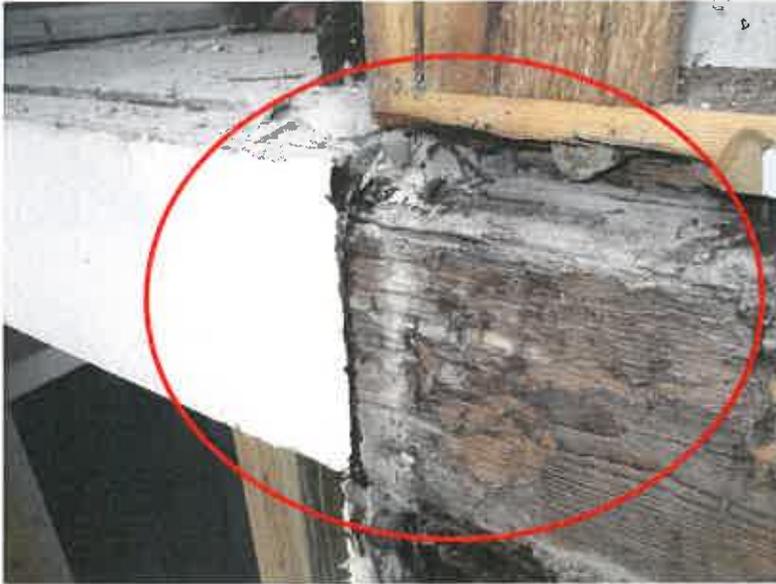
PHOTOGRAPH #6



**BUILDING 14
ELEVATION D Balcony Type C1B**

Contractor has removed stucco for inspection by Delta. Built up beam and lower column is deteriorated. Collapse documented and marked for repairs.

PHOTOGRAPH #7



**BUILDING 14
ELEVATION D BALCONY TYPE C1B**

Contractor has removed stucco for inspection by Delta. Built up beam and lower column is deteriorated. Collapse documented and marked for repairs.

PHOTOGRAPH #8



**BUILDING 14
ELEVATION D BALCONY TYPE C1B**

Contractor has removed stucco for inspection by Delta. Built up beam and lower column is deteriorated. Collapse documented and marked for repairs.

PHOTOGRAPH #9



**BUILDING 14
ELEVATION D BALCONY TYPE C1B**

Contractor has removed stucco for inspection by Delta. Built up beam and lower column is deteriorated. Collapse documented and marked for repairs.

PHOTOGRAPH #10



**BUILDING 14
ELEVATION D**

Contractor has completed straps, connectors and new framing at bearing wall sections and begun repairs at end balcony.

PHOTOGRAPH #11



**BUILDING 14
ELEVATION D BALCONY TYPE C1B**

Contractor has poured new pedestal as per drawing and specification for building new columns.

PHOTOGRAPH #12



**BUILDING 14
ELEVATION F**

Contractor has begun removal of stucco at designated areas for observation and documentation by Delta.

PHOTOGRAPH #13



**BUILDING 14
ELEVATION F**

Lower window Unit #1412 header deterioration and collapse observed and documented.

PHOTOGRAPH #14



**BUILDING 14
ELEVATION F**

Lower window Unit #1412 framing deterioration and collapse observed and documented.

PHOTOGRAPH #15



**BUILDING 14
ELEVATION F**

Lower window Unit #1412 framing deterioration and collapse observed and documented.

