



HEADQUARTERS
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FIELD OBSERVATION REPORT - Bldg #14

Permit No. 18-131555-00 BC
Owner: Vintage Grand Condo Assn, Inc.
Project Address: 4017 Crockers Lake Blvd., Sarasota, FL
Contractor: RL James Inc.
Inspector (s): Mark Boss / Mike Jones / Steve Melinard
Type of Assessment: Progress

R1500-302D
Glenn Atelli
(941) 923-7380
Craig Nicholas / Robert Branscombe
(941) 232-6486 / (239) 379-1978

Date: 09/04/18 Time: 10:50 AM Approx. Temp.: 85° F
Date: 09/07/18 Time: 1:15 PM Approx. Temp.: 88° F
Weather: Partly Cloudy
Weather: Cloudy Showers

Elevation	Demo	Gable Bracing	Gable Vents	Framing & Strapping	Sheathing	Softi	Window Flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A		NA	NA											
B		NA	NA											
C														
D	/	NA	NA											
E	X	NA	NA	/										Existing footing at breezeway columns are not properly supporting column at bottom plate. Delta will provide ESI for build out repair (Photograph #10). Contractor has removed downspouts and placed on ground near scaffolding. Damage has occurred from foot traffic in the area. Delta recommends they be moved to a traffic free location (Photograph #14).
F														

ACTION REQUIRED BY CONTRACTOR:

1. Provide Affidavit stating scaffolding meet OSHA requirements.
2. Determine location each required mock-up (framing & strapping, sheathing, Tyvek, stucco, window & window flashing, sealant joints, and painting).
3. Provide remaining submittals. Sample warranties outstanding.
4. Contractor has removed downspouts and placed on ground near scaffolding. Damage has occurred from foot traffic in the area. Delta recommends they be moved to a traffic free location (Photograph #4).

ACTION REQUIRED BY OWNER:

1. Roof tiles at corner have come loose causing a leak and rotten roof sheathing below. Contractor will make repair to sheathing after owners roofing contractor has repaired leak.
2. Regrade /slope soils around building to provide a minimum of 6 inches from top of grade to bottom of weeps screed for positive drainage

ACTION REQUIRED BY ENGINEER:

1. Existing footing at breezeway columns are not properly supporting column at bottom plate. Delta will provide ESI for build out repair (Photograph #10)

GENERAL COMMENTS:

1. Bora Care Insecticide for termite application in open wall cavities as per specification and approved submittals (Photograph #1).
2. Remaining Simpson Strong-Tie connectors as per drawing schedule (Photograph #1).
3. 5/8" Simpson "TITEN HD" with Simpson BP 816-3 installed at bearing wall bottom plate as per drawings and specifications (Photograph #3).
4. Grade at base of walls is too high and not sloped away from building to assist in the drainage of stormwater away from building as required by drawings (not part of contract). Delta has made owners aware this condition if not corrected will cause leaks and deterioration at the base of walls exposed to water.
5. Contractor has removed stucco from beam at breezeway pass through. Delta has reviewed the collapse and marked rotten wood for replacement (Photograph #5 and #6).
6. Contractor to contact Delta upon each inspection phase per attachment "Inspection By Affidavit" for the County of Sarasota.
7. Contractor has poured new pedestals at balconies for columns as per drawings and specifications and used Simpson Strong -Tie SET EX EPOXY for setting 5/8" threaded rod as per drawings (Photographs #7, #8 and #9).
8. Studs and window framing at ground level are deteriorated and will require replacement. Delta has marked areas for repairs (Photographs #11 and #12).
9. Balcony columns and built up beams are deteriorated. Delta has documented the collapse and marked repairs for repair (Photographs #13 and #14).

Based on the site observations conducted, this firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer: 
Date: 9-13-18

PHOTOGRAPHS

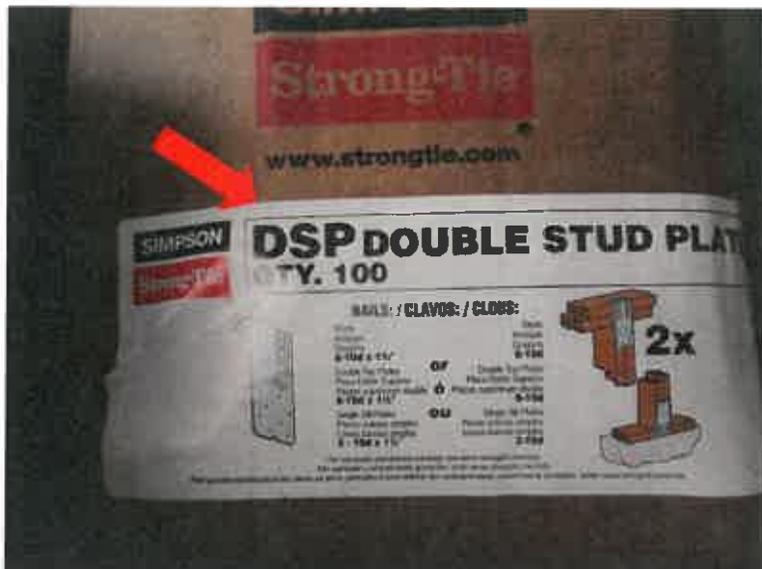
PHOTOGRAPH #1



BUILDING 14 MATERIAL DELIVERIES

Bora Care insecticide for termite application in open wall cavities as per specification and approved submittals.

PHOTOGRAPH #2



BUILDING 14 MATERIAL DELIVERIES

Remaining Simpson Strong-Tie connectors as per drawing schedule.

PHOTOGRAPH #3



**BUILDING 14
ELEVATION E**

5/8" Simpson "TITEN HD" with Simpson BP 5/8-3 installed at bearing wall bottom plate as per drawings and specifications.

PHOTOGRAPH #4



**BUILDING 14
ELEVATION E**

Contractor has removed downspouts and placed on ground near scaffolding. Damage has occurred from foot traffic in the area. Delta recommends they be moved to a traffic free location.

PHOTOGRAPH #5



**BUILDING 14
ELEVATION E BREEZWAY**

Contractor has removed stucco from beam at breezeway pass through. Delta has reviewed the collapse and marked rotten wood for replacement.

PHOTOGRAPH #6



**BUILDING 14
ELEVATION E BREEZWAY**

Contractor has removed stucco from beam at breezeway pass through. Delta has reviewed the collapse and marked rotten wood for replacement.

PHOTOGRAPH #7



**BUILDING 14
ELEVATION E BALCONY**

Contractor has reformed concrete pedestals at balcony columns where previous concrete poured was washed out by rain.

PHOTOGRAPH #8



**BUILDING 14
ELEVATION E BALCONY**

Contractor has poured new pedestals at balconies for columns as per drawings and specifications and used Simpson Strong -Tie SET EX EPOXY for setting 5/8" threaded rod as per drawings.

PHOTOGRAPH #9



**BUILDING 14
ELEVATION E BALCONY**

Contractor has poured new pedestals at balconies for columns as per drawings and specifications and used Simpson Strong -Tie SET EX EPOXY for setting 5/8" threaded rod as per drawings.

PHOTOGRAPH #10



**BUILDING 14
ELEVATION E AND D BREEZWAY**

Existing footing at breezeway columns are not properly supporting column at bottom plate. Additional concrete footing will be required. Delta will provide ESI for build - out repair.

PHOTOGRAPH #11



**BUILDING 14
ELEVATION D**

Studs and window framing at ground level are deteriorated and will require replacement. Delta has marked areas for repairs.

PHOTOGRAPH #12



**BUILDING 14
ELEVATION D**

Studs and window framing at ground level are deteriorated and will require replacement. Delta has marked areas for repairs.

PHOTOGRAPH #13



**BUILDING 14
ELEVATION D BALCONY**

Columns and built up beams are deteriorated. Delta has documented the collapse and marked repairs for repair.

PHOTOGRAPH #14



**BUILDING 14
ELEVATION D BALCONY**

Columns and built up beams have deteriorated. Delta has documented the collapse and marked repairs for repair.