



HEADQUARTERS
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 Owner
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FIELD OBSERVATION REPORT - Bldg #14

Permit No. 18-131555-00 BC
 Owner: Vintago Grand Condo Assn, Inc.
 Project Address: 4017 Crockers Lake Blvd., Sarasota, FL
 Contractor: RL James Inc
 Inspector (s): Mark Bose / Steve McNamee / Glenn Warburton
 Type of Assessment: Progress

Project: R1603-302D
 Contact: Glenn Atelli
 Phone/Fax: (941) 923-7380
 Contact: Craig Nicholas / Robert Branscombe
 Phone: (941) 232-8488 / (239) 379-1978

Weather: Sunny
 Weather: Sunny
 Weather: Partly Cloudy
 Approx. Temp.: 82° F
 Approx. Temp.: 77° F
 Approx. Temp.: 75° F

Date: 08/11/18 Time: 9:45 AM
 Date: 08/13/18 Time: 1:25 PM
 Date: 08/14/18 Time: 8:05 AM

Elevation	Demo	Gable Bracing	Gable Vents	Framing & strapping	Sheathing	Softie	Window flashing	Window Install	Stucco Lath Acc	Stucco	Sealant	Painting	Punch	Comments
A		NA	NA											
B		NA	NA											
C														
D	/	NA	NA	/										
E	X	NA	NA	/	/	/	/	/						Contractor added a wood buck at one side of each window in effort to make window fit opening. This required removal and re-attachment of flashing that did not bond properly when re-attached (Photograph #7). Wood buck added to each window jamb did not meet fastening or spacing requirements of NOA or window manufactures installation instructions. Mock-up will be removed and re-done (Photographs #8 and #9). Sheathing installed at lower section of balcony columns is not pressure treated as required by Delta project manual and specifications. Contractor will be required to remove and replace with pressure treated plywood as per specifications (Photograph #12).
F														

ACTION REQUIRED BY CONTRACTOR:

1. Provide Affidavit stating scaffolding meet OSHA requirements.
2. Determine location each required mock-up (framing & sheathing, Tyvek, stucco, window & window flashing, sealant joints, and painting).
3. Provide remaining submittals. Stucco Sample warranty is outstanding.
4. Contractor will remove mock up windows at ground level unit # 1412 and re install a new window mock up per manufacture approval and ESI #4 by Delta.
5. Contractor will remove and replace plywood sheathing at balcony columns with pressure treated plywood as per specifications.
6. Sheathing installed at lower section of balcony columns is not pressure treated as required by Delta project manual and specifications. Contractor will be required to remove and replace with pressure treated plywood as per specifications (Photograph #12).

ACTION REQUIRED BY OWNER:

1. Roof files at corner have come loose causing a leak and rotten roof sheathing below. Contractor will make repair to sheathing after owners roofing contractor has repaired leak.
2. Regrade soils around building to provide a minimum of 6 inches from top of grade to bottom of stucco and slope grade 2% to provided positive drainage.

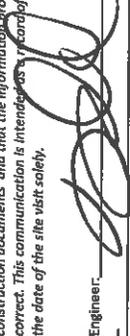
ACTION REQUIRED BY ENGINEER:

1. Delta will provide ESI describing proper spacing and fastening of windows per manufactures approvals.

GENERAL COMMENTS:

1. Contractor has poured built up postcast detail as per Delta ESI # 2 at breezeway column using MasterEmaco N425 (Photographs #1 and #2).
2. Contractor applying Copper - green wood preservative at lower two feet up on wood framing as specified. (Photographs #3 and #4).
3. Sub-Contractor is spraying inside all wall cavities and between floor cavities for termite control with "BORACARE" as per Project manual (Photograph #6).
4. Contractor set up mock-up with manufactures representatives as per Project manual (Photograph #8).
5. Contractor added a wood buck at one side of each window in effort to make window fit opening. This required removal and re-attachment of flashing that did not bond properly when re-attached (Photographs #7 and #9).
6. Wood buck added to each window jamb did not meet fastening or spacing requirements of NOA or window manufactures installation instructions. Mock-up will be removed and re-done (Photographs #8 and #9).
7. Simpson Strong-Tie SPT connector not properly nailed. Delta notified contractor and they were removed and replaced (Photograph #10).
8. Simpson Strong -Tie HGA10KTR Shear Clip installed at deck joist as per drawings and specifications (Photograph #11).

Based on the site observations conducted, this Firm certifies that to the best of its knowledge and belief, the Work has progressed as stated in accordance with the construction documents and that the information provided in this report is true and correct. This communication is intended as a record of the conditions observed as of the date of the site visit solely.

Engineer:  Date: 9-21-18

PHOTOGRAPHS

PHOTOGRAPH #1



BUILDING 14 ELEVATION E

Contractor has poured built up pedestal detail as per Delta ESI # 2 at breezeway column using MasterEmaco N425.

PHOTOGRAPH #2



BUILDING 14 ELEVATION E

Contractor has poured built up pedestal detail as per Delta ESI # 2 at breezeway column using MasterEmaco N425.

PHOTOGRAPH #3



**BUILDING 14
ELEVATION D**

Contractor applying Copper – green wood preservative at lower two feet up on wood framing as specified.

PHOTOGRAPH #4



**BUILDING 14
ELEVATION D**

Contractor applying Copper – green wood preservative at lower two feet up on wood framing as specified.

PHOTOGRAPH #5



**BUILDING 14
ELEVATION D BREEZWAY**

Sub-Contractor is spraying inside all wall cavities and between floor cavities for termite control with "BORA-CARE" as per specification and manufacture instructions.

PHOTOGRAPH #6



**BUILDING 14
WINDOW INSTALLATION MOCK-UP
Unit #1412 Ground Level**

Contractor set up mock-up with manufactures representatives as per Project Manual.

PHOTOGRAPH #7



**BUILDING 14
WINDOW INSTALLATION MOCK-UP
Unit #1412 Ground Level**

Contractor added a wood buck at one side of each window in effort to make window fit opening. This required removal and re-attachment of flashing that did not bond properly when re-attached.

PHOTOGRAPH #8



**BUILDING 14
WINDOW INSTALLATION MOCK-UP
Unit #1412 Ground Level**

Wood buck added to each window jamb did not meet fastening or spacing requirements of NOA or window manufactures installation instructions. Mock-up will be removed and re-done.

PHOTOGRAPH #9



**BUILDING 14
WINDOW INSTALLATION MOCK UP
Unit #1412 Ground Level**

Wood buck added to each window jamb did not meet fastening or spacing requirements of NOA or window manufactures installation instructions, Mock-up will be removed and re-done.

PHOTOGRAPH #10



**BUILDING 14
ELEVATION E**

Simpson Strong-Tie SP1 connector not properly nailed. Delta notified contractor and they were removed and replaced.

PHOTOGRAPH #11



**BUILDING 14
ELEVATION D BALCONY TYPE C1A**

Simpson Strong -Tie HGA10KTR Shear Clip installed at deck joist as per drawings and specifications.

PHOTOGRAPH #12



**BUILDING 14
ELEVATION D BALCONY TYPE C1A**

Sheathing installed at lower section of balcony columns is not pressure treated as required by Delta project manual and specifications. Contractor will be required to remove and replace with pressure treated plywood as per specifications.

DELTA JOB # R1503-002D
 DRAWN BY: M.P.L.
 CHECKED BY: C.M.D.
 APPROVED BY: S.J.M.
 DATE: 06/07/18
 ISSUE DATES & REVISIONS
 PERMIT SET 06-07-18
 SHEET S-1.0A

STEVEN J. MAINARDI, P.E.
 #56563

PROJECT NAME:
 WOOD FRAME REPAIRS & RELATED WORK
 VINTAGE GRANITE CONDOMINIUM
 (PHASE II)
 ASSOCIATION, INC.
 4012 CROCKERS LAKE BLVD.,
 SARASOTA, FL 34238

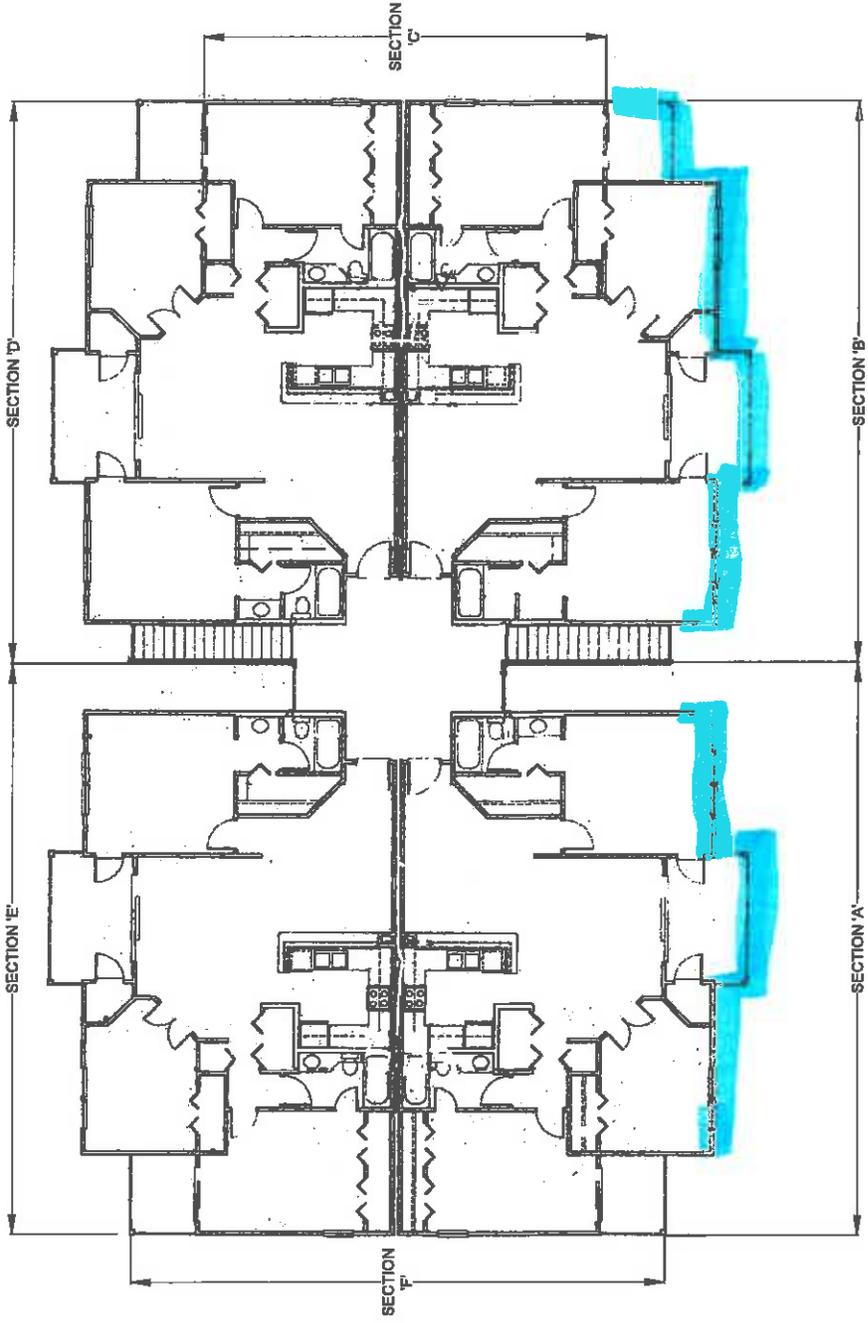
TO THE BEST OF THE ENGINEERS KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 2017 FLORIDA BUILDING CODE AND THE 2017 FLORIDA ELECTRICAL CODE, AS WELL AS ANY OTHER APPLICABLE CODES AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH CHAPTER 893 AND CHAPTER 894, FLORIDA STATUTES.

THIS DRAWING AND DESIGN IS VALID FOR A PERIOD OF 1 YEAR AFTER THE DATE IT IS SIGNED OR UNTIL A NEWER VERSION OF THE BUILDING CODE - HAVING JURISDICTION IS ADOPTED, WHICHEVER OCCURS FIRST.

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DRAWING TITLE:
 BUILDING #14 FLOOR PLAN -
 TYPE 1



1 DENOTES AREA OF WORK

1 BUILDING #14 FLOOR PLAN - TYPE 5
 SCALE: N.T.S.